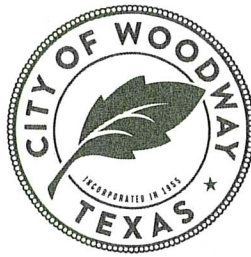


PUBLIC NOTICE OF MEETING



WOODWAY CITY COUNCIL

OCTOBER 6, 2025 – 5:30 P.M.

TAKE NOTICE THAT A REGULAR MEETING OF THE CITY COUNCIL OF THE CITY OF WOODWAY, TEXAS, WILL BE HELD IN THE DONALD J. BAKER COUNCIL CHAMBERS AT WOODWAY CITY HALL, 922 ESTATES DRIVE, WOODWAY, TEXAS, COMMENCING AT 5:30 P.M. ON MONDAY, OCTOBER 6, 2025, TO CONSIDER AND ACT UPON ANY LAWFUL SUBJECT WHICH MAY COME BEFORE IT INCLUDING, AMONG OTHERS, THE ITEMS LISTED BELOW.

AGENDA

CALL MEETING TO ORDER

INVOCATION

1. Invocation
2. Pledge of Allegiance

PUBLIC COMMENT

3. The City Council invites citizens to address the Council on any matter, including items on the agenda, except public hearings that are included on the agenda. Comments related to Public Hearings will be heard when the specific hearing starts. Please limit your comments to three (3) minutes per Resolution R-87-11. The Council is not permitted to take any action or discuss any item not listed on the agenda. When called to speak, please state your name and address, and if speaking on a specific agenda item, state the item before beginning your comments

PRESENTATIONS

4. Presentation of Yard of the Month for October
5. Quarterly presentation – Public Safety Department's report regarding crime statistics and law enforcement activities in the fourth quarter of 2025

WOODWAY CITY COUNCIL AGENDA

Page 2

October 6, 2025 - 5:30 P.M.

6. Quarterly presentation – Community Services and Development’s report regarding progress on new construction, anticipated completion dates and the issuance of certificates of occupancy, and inspection statistics for the fourth quarter of FY 2025

PUBLIC HEARINGS AND RELATED ACTION

7.
 - A. Public hearing on request from Matthew Perry for a Special Use Permit for a Home Occupation (pottery lessons for 1-3 students at a time) at 9501 Brookhollow Dr., Woodway, Texas
 - B. Discussion and consider action on request from Matthew Perry for a Special Use Permit for a Home Occupation (pottery lessons for 1-3 students at a time) at 9501 Brookhollow Dr., Woodway, Texas
8.
 - A. Public hearing on Application to Develop and Site Development Plan in a Planned District (Green Accounting Offices) Lot 3, Block 1, Rodney Kroll Addition, to the City of Woodway, McLennan County, Texas, located at the southeast corner of Santa Fe Dr. and Old McGregor Rd.
 - B. Discussion and consider action on Application to Develop in a Planned District (Green Accounting Offices) Lot 3, Block 1, Rodney Kroll Addition, to the City of Woodway, McLennan County, Texas, located at the southeast corner of Santa Fe Dr. and Old McGregor Rd.
 - C. Discussion and consider action on Site Development Plan in a Planned District (Green Accounting Offices) Lot 3, Block 1, Rodney Kroll Addition, to the City of Woodway, McLennan County, Texas, located at the southeast corner of Santa Fe Dr. and Old McGregor Rd.

ITEMS FOR INDIVIDUAL DISCUSSION, CONSIDERATION AND/OR ACTION

9. Discussion and consider action to approve a Contract Amendment with STV, Inc., for additional Construction Administration and Resident Project Representative services for the Fairway Gravity Sewer Replacement Phase III, in an amount not to exceed \$96,825.00, and authorizing the City Manager to execute any documents in connection therewith
10. Discussion and consider action to remove, add, or change traffic control devices on Old Farm Rd., Oak Springs Dr., and neighboring streets
11. Discussion and consider action ratifying the expenditure of \$55,000.00 to Nacho Ruiz Cement, LLC, for emergency repairs to remove and replace bridge approach on both sides of Estates Drive Bridge due to unforeseen damage and necessary to preserve or protect the public health or safety of the City’s residents pursuant to Tex.Loc.Gov’t Code §252.0215.

WOODWAY CITY COUNCIL AGENDA

Page 3

October 6, 2025 - 5:30 P.M.

CONSENT AGENDA

The Consent Agenda consists of non-controversial, routine and budgeted items which require no public hearing. The Consent Agenda is subject to being approved with one single motion; however, the Mayor or any City Councilmember may remove any item from the Consent Agenda for separate discussion and consideration.

12. A. Discussion and consider action on minutes of the regular City Council meeting held September 22, 2025, at 5:30 p.m.
- B. Discussion and consider action on purchasing three Public Safety Ford Explorers and one Chevrolet Silverado from Caldwell Country through Texas BuyBoard in an amount not to exceed \$235,330.00 replacing Unit 611, a 2019 Chevrolet Tahoe, VIN #1GNLCDEC7KR234821, Unit 621, a 2021 Chevrolet Tahoe, VIN #1GNSCLED3MR284701, A 2010 Ford F-150, VIN #1FTEW1C85AFB54861, as they have reached the end of their service life and approving the sale of replaced units at public auction; Unit 614, a 2017 Chevrolet Tahoe, VIN #1GNLCDEC2HR192244 (transferring ownership to McLennan Community College Police Academy) and authorizing the City Manager to execute all documents in connection therewith
- C. Discussion and consider action to dispose of one retired Woodway PSD patrol unit with non-reusable equipment by transferring its ownership to the McLennan Community College Police Academy in exchange for a credit of \$18,645.00 to be used for future Woodway Cadets attending the MCC Police Academy and authorizing the City Manager to execute all documents in connection therewith
- D. Discussion and consider action on Resolution R-25-15, declaring an ice machine, washing machine, old radar trailer, filing cabinet, three-monitor computer stand, six Dell servers, two HP servers, one Morantz recorder, two Dell laptops, three HP laptops, one Gateway laptop, six Motorola laptops, one old projector, eight UPS's, one Acer all-in-one computer, two HP printers, four monitors, one Hitachi TV, two Dell computers, two Lenovo computers, four HP desktops and one HP all-in-one desktop computer, as excess city property that is obsolete, unrepairable, or at the end of its useful purpose and authorizing the disposal of same by any lawful means including without limitation treatment as waste, recycling, sale at public auction, and/or transfer to qualified recipient for permissible use
- E. Discussion and consider action on Resolution R-25-16, finding that Oncor Electric Delivery Company LLC's ("Oncor" or "Company") application to change rates within the City should be denied; and that the City's reasonable rate case expenses shall be reimbursed by the Company
13. Discussion and consider action on Consent Agenda

WOODWAY CITY COUNCIL AGENDA

Page 4

October 6, 2025 - 5:30 P.M.

CITY MANAGER AND CITY COUNCIL REPORTS

14. City Manager's Report (Briefings or updates may be provided regarding City services, administrative/personnel matters, real estate/development, infrastructure, events, regulations, community and intergovernmental relations issues.)
15. City Council Reports (Briefings or updates may be provided regarding City Council committee and liaison assignments.)

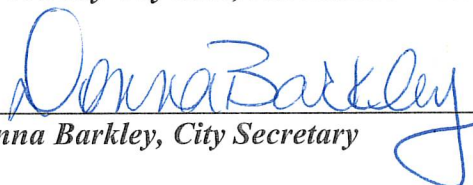
CLOSING ITEM

16. Consider action on adjournment

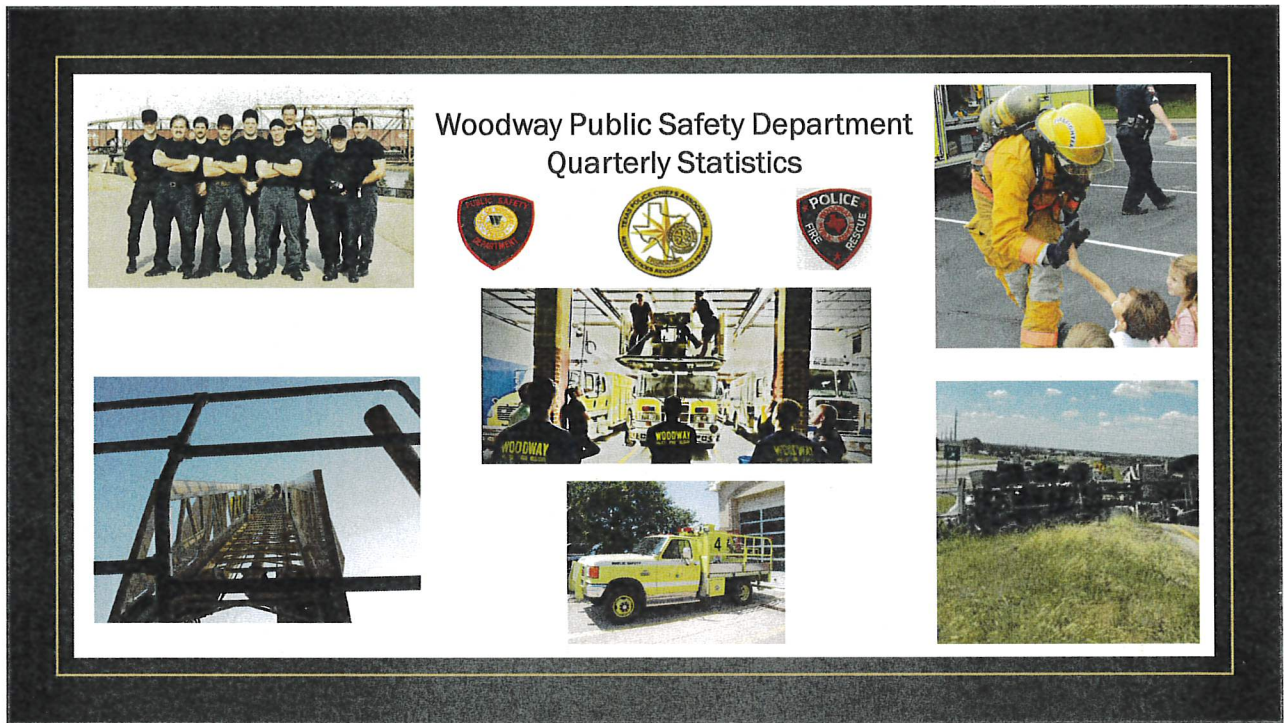
The City Council may go into Executive Session on any item listed on the agenda in accordance with Chapter 551 of the Texas Government Code.

Councilmembers unable to attend in person may participate via videoconference in accordance with Chapter 551 of the Texas Government Code.


I certify that the above notice of meeting was posted at Woodway City Hall, 922 Estates Drive, Woodway, Texas, on the 30th day of September 2025 at 5:00 p.m.


Donna Barkley, City Secretary

<p>This facility is wheelchair accessible and accessible parking spaces are available. Requests for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (254) 772-4480 or FAX (254) 772-0695 for further information.</p>
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1



Woodway Police Department

Quarterly Report

July 1st, 2024 - September 30th, 2024



Police Calls for Service	Reports Taken	Online Solicitation	Burglary
4519	201	0	1
Fire/EMS Calls for Service	Accidents	Thefts	Sex Crimes
404	38	27	1
VCO Calls for Service	Arrests	Assaults	
221	101	10	
Traffic Stop	Citations	Weapon Violations	
1453	462	4	
<div>ALL OTHER LARCENY19</div> <div>DRIVING UNDER INFLUENCE18</div> <div>DRUG / NARCOTIC VIOLATION9</div>			

**Numbers are not available yet.

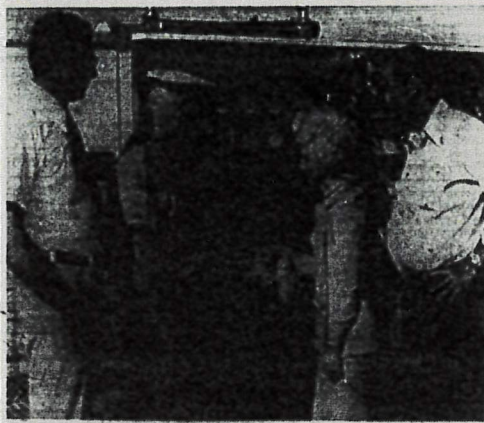
Will be available at conclusion of

Quarter and presented at the City Council

meeting.**

2

Woodway PSD Celebrates 50 Years



NEW EQUIPMENT – Woodway City Manager John Lynch, Public Safety Director Lloyd Behm, City Secretary Ollie Pavelka and Public Works Director Wayne McKeethan examine the city's new 1,000-gallon-per-minute pumper fire truck. The truck was built by Pierce Manufacturing Co. in Appleton, Wis., and has a 500-gallon water tank and two 250-gallon booster tanks. The city now has three fire trucks. (Tom Anderson photo)

Officers Train for Both Jobs

Woodway Combines Fire, Police

By TOM ANDERSON
Staff Writer

Woodway no longer has separate fire and police departments. Under a reorganization plan approved with the adoption of the 1975-76 city budget both services were combined into a Public Safety Department.

The city also may be the first in the state to have police and firemen combined into a single officer, said Public Safety Director Lloyd Behm Friday morning. He said all six officers on the police payroll are undergoing training as certified firemen, while he is now taking applications for reserve public safety officers who will function as volunteer firemen and reserve police officers as needed.

Until Oct. 1 the city had a 16-man volunteer fire department, but now the city has a combination of paid and volunteer members. Members of the police department already have undergone some training to operate the city's three fire trucks.

On Sept. 15 the city took delivery of a new 1,000-gallon-per-

minute pumper, Behm said. The \$41,000 unit has more than 2,300 feet of various size hose and is the first one in McLennan County to be painted green.

Behm said the green color has a higher visibility factor than red.

"All of our police officers will not be called to a fire," he said, adding the city would continue to

be patrolled at all times no matter how large the fire.

"We're not stripping one department for the other," he said.

"We did it to provide better service in both areas at a savings of taxpayer dollars," he said, noting the council had studied a long-range plan of a fully paid professional fire department. "The Public Safety

Department however, looked like the best solution."

He said, "It will take 18 months to two years to get the whole program initiated. This is a long-range program, it won't be completed in just 30 to 60 days."

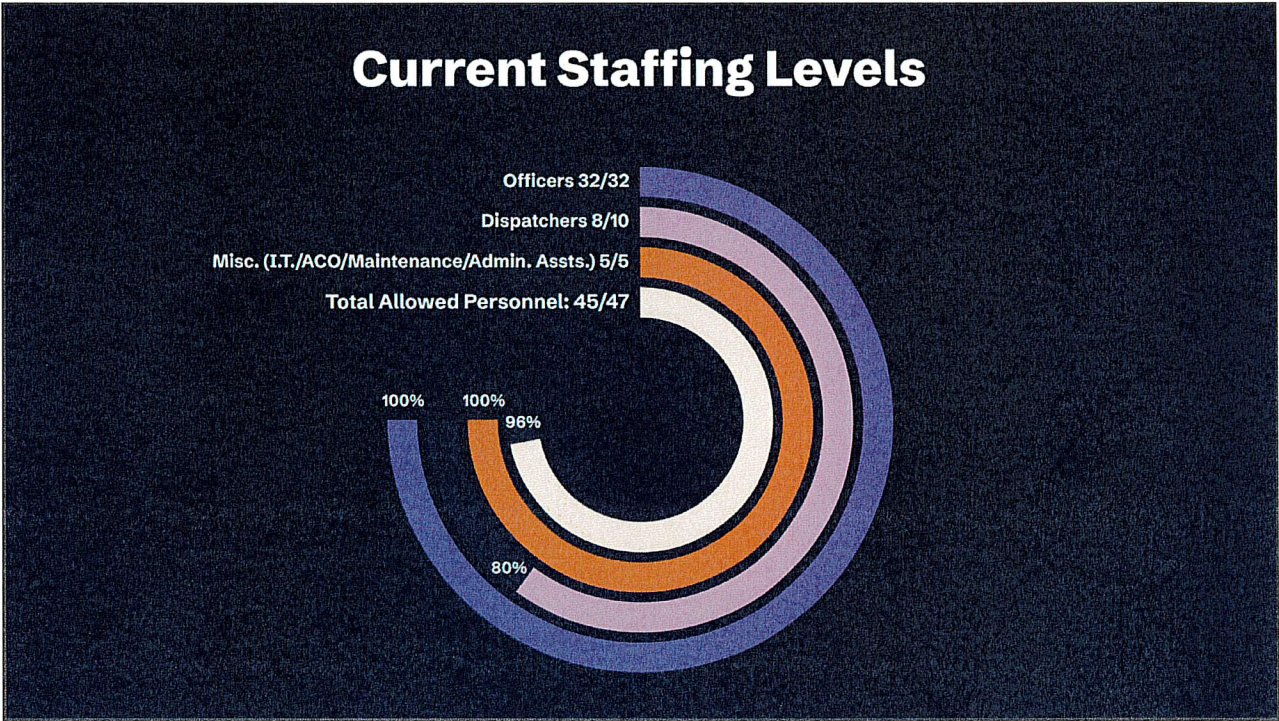
On Oct. 25 the department will hold an open house from 10 a.m. to 3 p.m. to demonstrate new equipment for Woodway residents. On Nov. 1 and 8 a crime and fire prevention seminar for local residents and businessmen is planned.

3

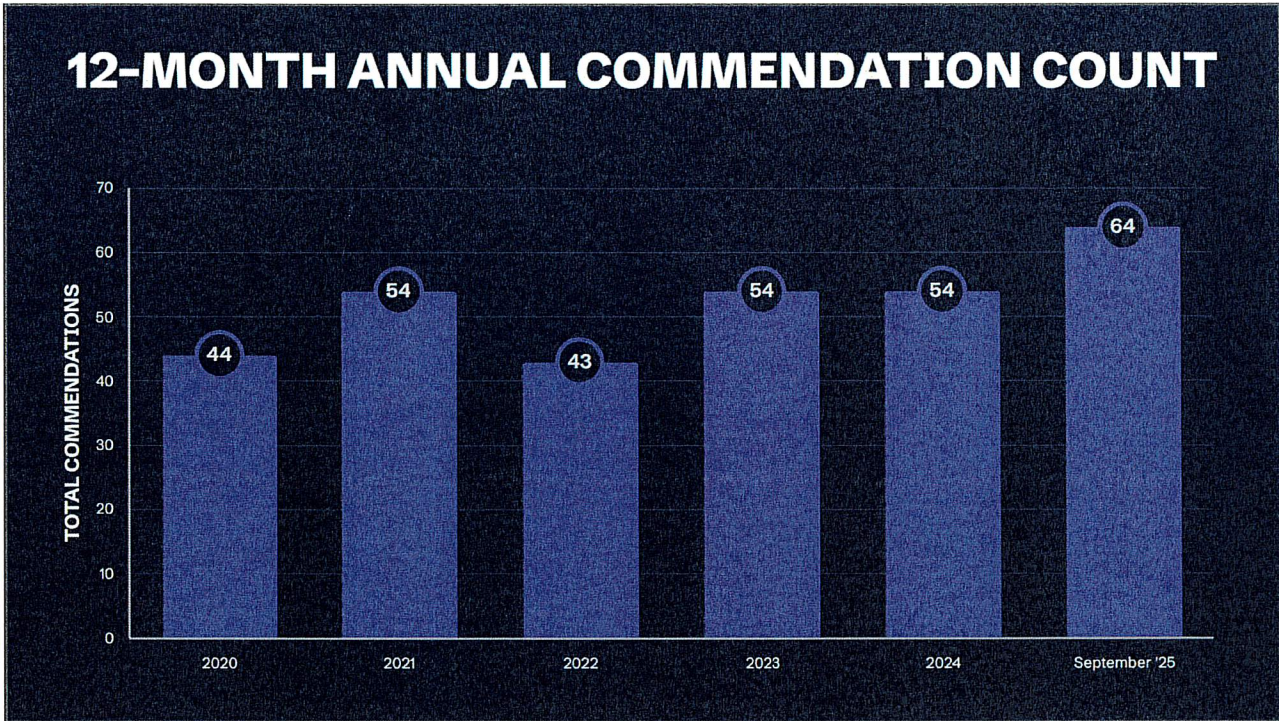
50 Years Later!
Where Are We Now?

**MENTAL HEALTH
PEACE OFFICER**
Certification Course

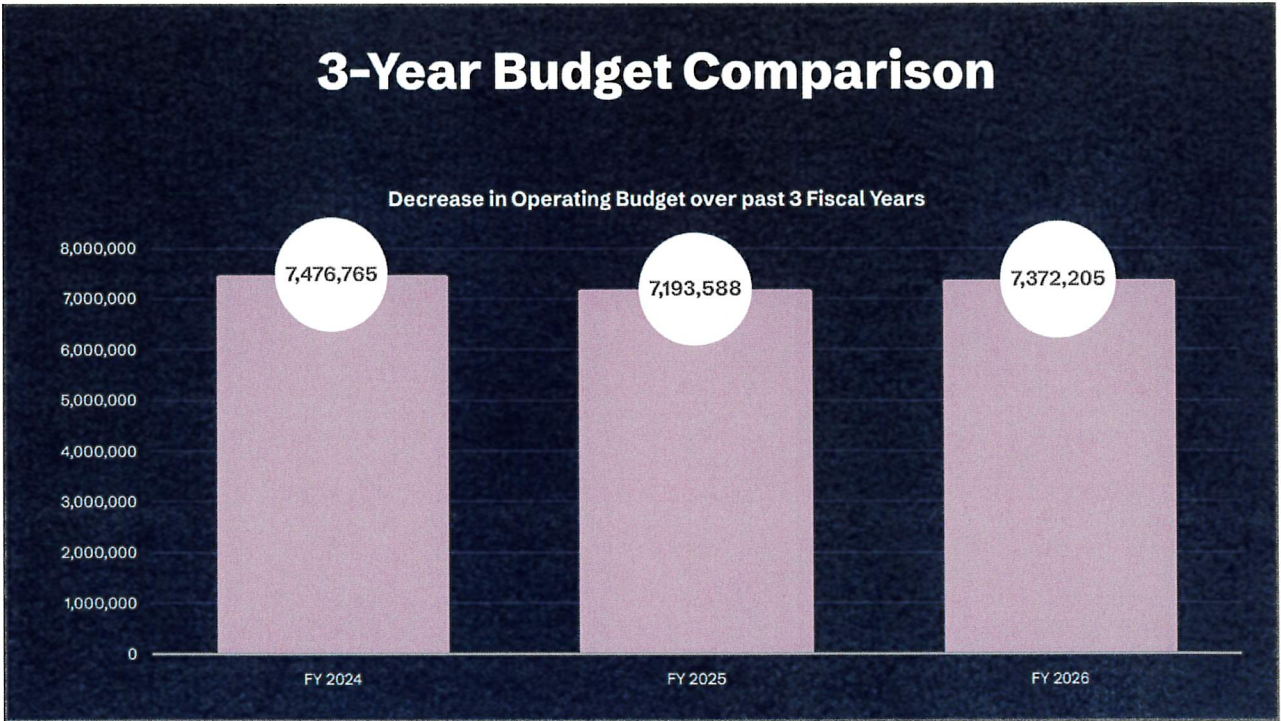
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5



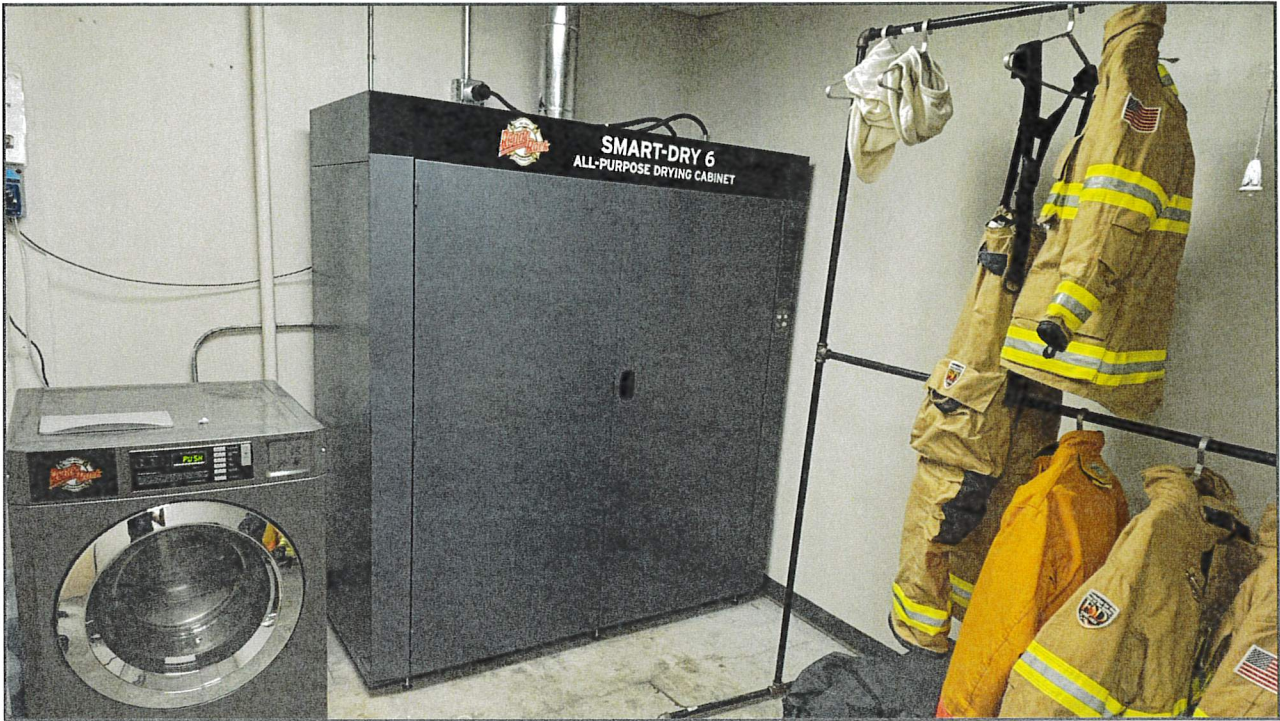
6




7



8




9



WOODWAY PUBLIC SAFETY DEPARTMENT

QUARTERLY PRESENTATION



Questions?

10

Community Services &
Development Department

Quarterly Report

October 6, 2025



1


311 Heather Run




2

WESTLAKE ADDITION


Quail Valley Dr.



38 Pinehurst Dr.




Turnberry Dr.



WOODWAY

3


82 Cedar Creek




WOODWAY

4


15033 Badger Ranch



16010 Torrey Springs




17038 Star Canyon



WOODWOY

5

17000 Ransom Canyon




WOODWOY


6

TANGLEWOOD


Denali Dr.



Sequoia Ln.



Boonfeld Dr.



WOODWAY

7

TANGLEWOOD

King's Canyon



RW Ct.




Kenai Dr.




WOODWAY

8

117 Bradford




321 Rainbow




WOODWOY

9

3 Ritchie



20 Ritchie



WOODWOY

10

13701 Woodway., Bldg 1
Restaurant



WOODWAY

11

7907 Woodway Drive
Waco Ophthalmology



WOODWAY

12

9108 Jordan Ln., Bldg 6
(Dentist, Suite 6)



9108 Jordan Ln., Bldg 3
(Shell Building)



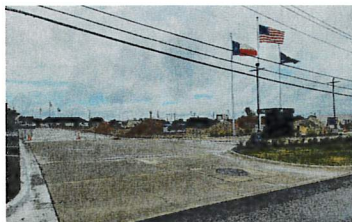
WOODWAY

13

16401 BADGER RANCH
(CHIROPRACTOR)



9205 OAK CREEK
(BANK)



203 COLONNADE
(DOGS WAGS GROOMING)



WOODWAY

14

QUARTERLY FIGURES ATTACHED



QUARTERLY INSPECTION TALLY

Date Range: JULY through SEPTEMBER

BUILDING

Piers:	<u>3</u>
Foundation:	<u>9</u>
Framing:	<u>17</u>
Insulation:	<u>15</u>
Sheath/Tyvek/Tie:	<u>10</u>
Wind-bracing:	<u>2</u>
Final:	<u>14</u>
Retaining Wall:	<u>2</u>

IRRIGATION

Backflow:	<u>6</u>
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POOL

Reinforcing:	<u>12</u>
Plumbing/Elec:	<u>5</u>
Final:	<u>0</u>

MECHANICAL

Rough:	<u>10</u>
Final:	<u>18</u>

GAS

Rough:	<u>15</u>
Final:	<u>10</u>

PLUMBING

Water Heater:	<u>9</u>
Rough:	<u>20</u>
Shower Pan:	<u>7</u>
Top Out:	<u>14</u>
Yard Lines:	<u>21</u>
Custom. Svc Insp:	<u>8</u>
Final:	<u>15</u>

WINDOWS

Energy Efficiency:	<u>5</u>
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ELECTRICAL

Temp. Pole:	<u>12</u>
Rough:	<u>40</u>
Underg./Overhead	<u>9</u>
Permanent Svc:	<u>15</u>
Final:	<u>12</u>
Commercial Rls:	<u>6</u>

DRIVE APPROACH

Pre-pour:	<u>9</u>
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SUBDIVISION

Stormwater:	<u>1</u>
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TECH ASSIST:	<u>0</u>
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INSPECTION TOTAL:	351
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CERTIFICATES OF OCCUPANCY ISSUED

RESIDENTIAL: 4

COMMERCIAL: 2



CITY COUNCIL AGENDA ITEM FORM

Meeting Date: October 6, 2025

Prepared By: Donna Barkley

Approved By: 

- ☐ Presentation, Report and/or Discussion Only
- ☒ Public Hearing/Related Action
- ☐ Individual Discussion/Action
- ☐ Consent
- ☐ Executive Session

Caption:

- A. Public hearing on request from Matthew Perry for a Special Use Permit for a Home Occupation (pottery lessons for 1-3 students at a time) at 9501 Brookhollow Dr., Woodway, Texas
- B. Discussion and consider action on request from Matthew Perry for a Special Use Permit for a Home Occupation (pottery lessons for 1-3 students at a time) at 9501 Brookhollow Dr., Woodway, Texas

Background Information:

After the City receives an application for a new Special Use Permit for a Home Occupation, the Planning and Zoning Commission must hold a public hearing to determine the effect of such proposed use upon the neighborhood character, traffic, public utilities, public health, public safety, and general welfare, and provide a recommendation to the City Council. The maximum permit term allowed for a home occupation is two years. Subsequently, the Council must conduct a second hearing, consider the recommendation of the Planning and Zoning Commission, and take final action on the request.

Matthew Perry, 9501 Brookhollow Dr., has submitted an application requesting a special use permit for a home occupation for the instruction of pottery lessons for 1-3 students at a time

Public hearing notices were mailed to everyone who owns property within 200 feet of Mr. Perry. No responses were received; and nobody spoke in opposition at the Planning & Zoning Commission hearing. Following the hearing, the Commission took action recommending approval of the request.

Financial Impact:

Total of Proposed Expenditure: \$
Amount Budgeted: \$
Account No.:
If not budgeted, other funding options:

Staff Recommendation:

- A. Conduct public hearing.
 - B. Approve request from Matthew Perry for a new Special Use Permit for a Home Occupation (pottery lessons for 1-3 students at a time) at 9501 Brookhollow Dr., Woodway, Texas
-



**APPLICATION FOR SPECIAL USE PERMIT
FOR A HOME OCCUPATION
IN THE CITY OF WOODWAY, TEXAS**

Fee Due \$70.00
 Fee Paid \$70.00
 Receipt Number R00395961

Date of P&Z Hearing
 Action of Commission
 Date of Council Hearing
 Action of Council

9-23-25
10-6-25

PUBLIC HEARINGS REQUIRED

After review and determination by the City Manager regarding the need for a special use permit, certain uses may locate in certain areas under certain conditions by a special permit granted by the Council after a report and recommendation by the Planning and Zoning Commission. After receiving an application for permit, the Planning and Zoning Commission shall hold a public hearing to determine the effect of such proposed use upon the neighborhood character, traffic, public utilities, public health, public safety and general welfare. Such public hearing shall be the same and notices shall be given in accordance with State Statutes and City Ordinances regulating the rezoning of property. After receiving the report and recommendation of the Planning and Zoning Commission, the City Council shall hold a public hearing relative to the application for permit, said public hearing to be the same required by State Statutes and City Ordinances regulating the rezoning of property. The City Council takes the Planning and Zoning Commission's recommendations heavily into account.

IT IS IMPERATIVE THAT THE APPLICANT OR APPLICANT'S REPRESENTATIVE BE IN ATTENDANCE AT BOTH THE PLANNING & ZONING COMMISSION AND CITY COUNCIL MEETINGS TO STATE THEIR REQUEST AND ANSWER ANY QUESTIONS.

SECTION I - TO BE COMPLETED BY APPLICANT

1. Applicant Name Matthew Perry
 Mailing Address 9501 Brookhollow Dr. City/State/Zip Woodway, TX 76712
 Phone (254) 277-1903 Fax _____ E-Mail outpostpottery@gmail.com
2. Address of property for which permit is requested 9501 Brookhollow Dr.
3. Zoning district in which property is located Residential
4. Has request been made before? Yes If so, date/action I held a SUP for Home Occupation for several years. Then, let it go since I had no customers visiting the premises.
5. Description of activity proposed (must be specific) pottery lessons for 1-3 students at a time
6. Owner (if other than applicant) Matthew Perry
 Mailing Address 9501 Brookhollow Dr. City/State/Zip Woodway, TX 76712
 Phone (254) 277-1903 Fax _____ E-Mail outpostpottery@gmail.com

Please mark the appropriate answer below:

7. ☐ Yes ☒ No Will non-residents of the dwelling be engaged in the home occupation?
8. ☒ Yes ☐ No Will the proposed home occupation be conducted wholly within the dwelling, which is the bona fide residence of the principal person involved in the home occupation?
9. ☐ Yes ☒ No Will any storage for the proposed home occupation, outside of any building(s) on the premises, be utilized to conduct the home occupation?

10. ☐ Yes ☒ No Will a separate entrance be used to the residence or any accessory building in conjunction with the conduct of the proposed home occupation?
11. ☐ Yes ☒ No Will the appearance or the structure of the dwelling in which the home occupation is to be conducted differ from its residential character as a dwelling by use of colors, materials, construction, lighting, signage, or any other manner?
12. ☐ Yes ☒ No Will any sign be used to identify or advertise the home occupation on the premises or within 1,000 feet thereof?
Currently no signage is necessary but would love to explore a small sign less than 1 sqft.
13. ☐ Yes ☒ No Will there be any noise, smoke, electrical interference or vibrations emanating from the premises on which the home occupation is conducted and which is detectable on any location off the premises?
14. ☒ Yes ☐ No Will the home occupation be conducted in a manner that does not create parking or traffic congestion and does not require parking at any one (1) time for more than three (3) customer vehicles?
Will not create any new parking nor require more than 3 customer vehicles.
15. ☐ Yes ☒ No Will any vehicles owned, used, operated or under the control of those engaged in the home occupation, or used in the home occupation, be parked overnight on any public street in Woodway?
No company vehicles. My wife parks in the street for the sake of our son with mobility issues.
16. ☐ Yes ☒ No Will above said vehicles be parked on a paved driveway or parking pad which is connected to the principal dwelling or garage located on the premises permitted for the home occupation?
No company vehicles. I park my truck in my driveway.
17. ☐ Yes ☒ No Will the home occupation require delivery or shipment of merchandise, goods or equipment by a vehicle larger than twenty-six (26) feet in length, eight (8) feet in width, and ten (10) feet high, with a gross vehicle weight not in excess of sixteen thousand (16,000) pounds?
18. ☐ Yes ☒ No Will any trailer be used for the home occupation in the delivery or shipment of merchandise, goods or equipment with more than one (1) axle, more than two (2) wheels, or in excess of twenty-six (26) feet in overall length?
19. ☐ Yes ☒ No Will the conduct of the home occupation, use of indoor storage, construction, alteration, or electrical equipment change the fire rating of any structure assigned if the home occupation were not conducted?
20. ☐ Yes ☒ No Will any mechanical or electrical tools, machinery or equipment be used to conduct the home occupation other than such which is customarily found in a single family dwelling associated with a hobby or avocation not conducted for gain or profit?
21. ☐ Yes ☒ No Will any stock in trade (except items produced by the members of the immediate family residing on the premises) be displayed or sold upon the premises other than incidental supplies necessary for and consumed in the conduct of the home occupation?
My 15 year old daughter held a pottery camp at our house this summer. Her success and excitement is why
22. ☐ Yes ☒ No Have you operated without a permit? If yes, how long? I'm requesting this permit.
23. How did you learn that a permit is required? I held a SUP for Home Occupation for several years before letting it go for lack of use.

Applicant Signature

Date 8/20/25

SECTION II - TO BE COMPLETED BY OWNER, IF OTHER THAN APPLICANT

My signature below is evidence that I consent to the conduct of the home occupation as described above on the property I own at 9501 Brookhollow Dr. (address).

Owner Signature

Date 8/20/25

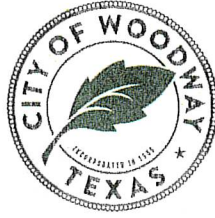
SECTION III - TO BE COMPLETED BY STAFF

Application reviewed by the City Manager

Record of complaints (if applicable)

Permit history (if applicable)

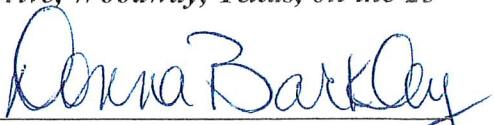
NOTICE OF PUBLIC HEARINGS



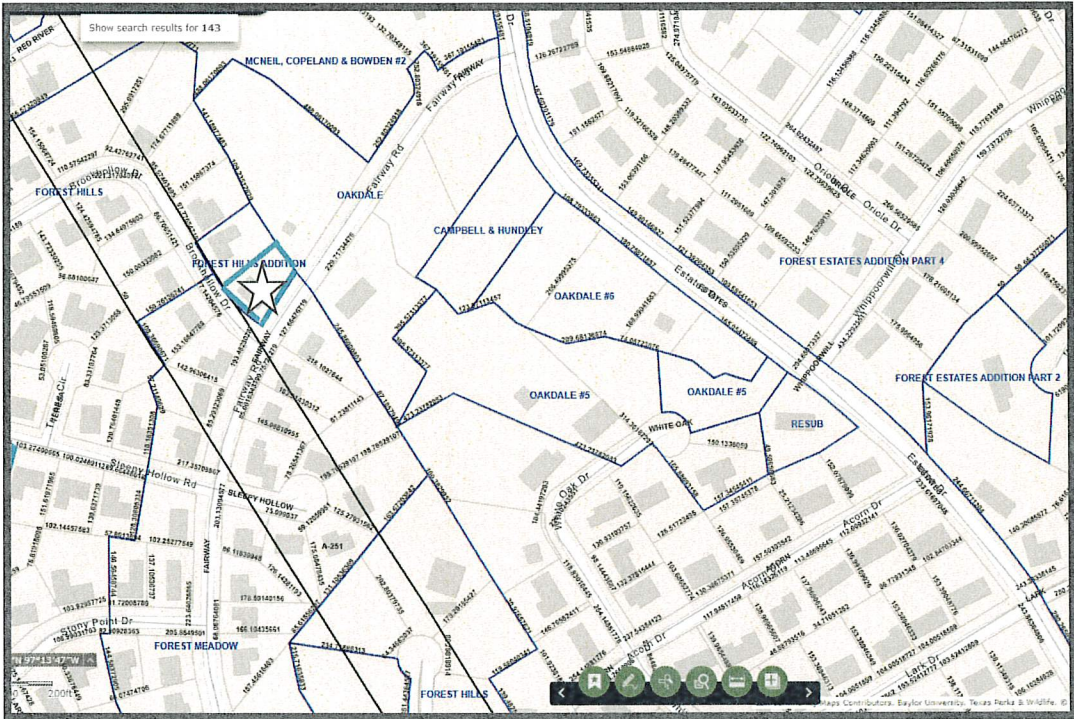
Notice is hereby given to all interested persons that the Planning and Zoning Commission of the City of Woodway, Texas, is scheduled to conduct a public hearing at Woodway City Hall (Donald J. Baker Council Chambers), 922 Estates Drive, Woodway, Texas, at 5:00 p.m. on Tuesday, September 23, 2025, on a request from Matthew Perry for a Special Use Permit for a Home Occupation (pottery lessons for 1-3 students at a time) at 9501 Brookhollow Dr., Woodway, Texas.

The Woodway City Council is scheduled to conduct a public hearing on the above request at Woodway City Hall (Donald J. Baker Council Chambers), 922 Estates Drive, Woodway, Texas, on Monday, October 6, 2025, at 5:30 p.m., and afterwards is scheduled to consider the recommendation of the Planning and Zoning Commission and take final action on the request.

This notice was posted at Woodway City Hall, 922 Estates Drive, Woodway, Texas, on the 25th day of August 2025 at 5:00 p.m.


Donna Barkley, City Secretary

This facility is wheelchair accessible and accessible parking spaces are available. Requests for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (254) 772-4480 or FAX (254) 772-0695 for further information.



Part of the City’s public hearing process includes mailing notices to the owners of all parcels of property (in the Woodway city limits) that are within 200 feet of the subject property. (We utilize McLennan County Appraisal District records - the most recently approved municipal tax roll - to compile the mailing list.) If you no longer own property within 200 feet of the subject property shown on this map, you may assist by forwarding this notice to the current owner; however, notices are also posted at Woodway City Hall and advertised in the official newspaper of the City, as required by law, to insure all notification requirements are met.

SPECIAL USE PERMIT

9501 Brookhollow Drive
(pottery lessons for 1-3 students at a
time)

Matthew J. and Hayley D. Perry
9501 Brookhollow Dr.
Woodway, TX 76712

Miranda (Hamilton) Woodward
9520 Brookhollow Dr.
Woodway, TX 76712

M. Picco, LLC
P.O. Box 343
China Spring, TX 76643

Christopher W. Vonderhoya
P.O. Box 8301
Waco, TX 76714

Terry Ann Miller, et al
916 Fairway Rd.
Woodway, TX 76712

El-DM Properties, Inc.
10204 Lisa Jean Dr.
Crowley, TX 76036

James Harvey
911 Fairway Rd.
Woodway, TX 76712

Marvin and Sharon Whittenburg
524 Brookwood Dr.
Woodway, TX 76712

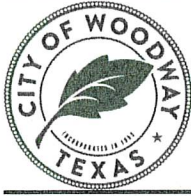
Waco Builders, Inc.
P.O. Box 1328
Hewitt, TX 76643

Evelyn Jane Hammond, LTE
Lara Gaines Hammond &
Michael Adrian Hammond
9513 Brookhollow Dr.
Woodway, TX 76712

Michael R. and Mary Ann Parsons, LTE
P.O. Box 2305
Hewitt, TX 76643

Robert C. Ulrich
1012 Fairway Rd.
Woodway, TX 76712

Kevin and Deborah Snow
1013 Fairway Rd.
Woodway, TX 76712



CITY COUNCIL AGENDA ITEM FORM

Meeting Date: October 6, 2025

Prepared By: Mitch Davison

Approved By: 

- ☐ Presentation, Report and/or Discussion Only
- ☒ Public Hearing/Related Action
- ☐ Individual Discussion/Action
- ☐ Consent
- ☐ Executive Session

Caption:

- A. Public hearing on Application to Develop and Site Development Plan in a Planned District (Green Accounting Offices) Lot 3, Block 1, Rodney Kroll Addition, to the City of Woodway, McLennan County, Texas, located at the southeast corner of Santa Fe Dr. and Old McGregor Rd.
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- C. Discussion and consider action on Site Development Plan in a Planned District (Green Accounting Offices) Lot 3, Block 1, Rodney Kroll Addition, to the City of Woodway, McLennan County, Texas, located at the southeast corner of Santa Fe Dr. and Old McGregor Rd.

Background Information:

Sterling Thompson (applicant) submitted an Application to Develop and Site Development in a Planned District (Green Accounting Offices) Lot 3, Block 1, Rodney Kroll Addition, to the City of Woodway, McLennan County, Texas, located at the southeast corner of Santa Fe Dr. and Old McGregor Rd.

City staff has requested that the applicant be present to answer any questions from the City Council.

The plans have been reviewed by the City Engineer and City Staff and found to comply.

Following the first required public hearing, the Planning and Zoning Commission took action to recommend approval of the Application to Develop and Site Development, on September 23, 2025, as submitted.

Financial Impact:

Total of Proposed Expenditure:

Amount Budgeted: N/A

Account No.:

If not budgeted, other funding options:

Staff Recommendation:

- A. Conduct a public hearing.
 - B. Recommend the Council to approve or disapprove the request of the Application to Develop in a Planned District (Green Accounting Offices) Lot 3, Block 1, Rodney Kroll Addition, to the City of Woodway, McLennan County, Texas, located at the southeast corner of Santa Fe Dr. and Old McGregor Rd.
 - C. Recommend the Council to approve or disapprove the request for the Site Development Plan in a Planned District (Green Accounting Offices) Lot 3, Block 1, Rodney Kroll Addition, to the City of Woodway, McLennan County, Texas, located at the southeast corner of Santa Fe Dr. and Old McGregor Rd.
-



This application is pursuant to Section 2.2 of the City of Woodway Code of Ordinances, Appendix A-Zoning. All applicants are encouraged to review this section and discuss the request with the Director of Community Services prior to submittal of application.

PART I – TO BE COMPLETED BY APPLICANT

- J.A. Green Accounting Jonathan Green**

- Mailing Address:** Sterling and Kap Architects, LLC 2416 Columbus Avenue Waco , Texas

Telephone: () 254-756-2311 Fax: () 254-7562577

Email: sterling@sterlingandkap.com

If firm or corporation, name of contact person: Sterling Thompson
(This individual will be contacted by City Staff on all matters regarding this application.)

- Lot: 3 Block: 1

Name of Addition: Rodney Kroll Addition

PLEASE PROVIDE ACREAGE DESCRIPTION IF NOT PLATTED INTO A LOT AND BLOCK:

 ACRE(S) IN THE SURVEY
(If property is not platted, an acreage description a.k.a. field notes must be provided with the application as the wording must be included in the public hearing notice as required by law.)

Physical Address of Property: No address at this time.

Brief Description of Property: Basically square corner lot with office building next door and vacant lot behind

(4) IS THIS YOUR ORIGINAL REQUEST TO DEVELOP ON THIS SITE? xx YES or NO

(5) APPLICATION MUST BE SUBMITTED WITH (2) FULL SIZE COPIES OF THE SITE PLAN SHOWING THE FOLLOWING ITEMS AND MUST INCLUDE THE ENTIRE PARCEL OF PROPERTY UPON WHICH THE APPLICANT DESIRES TO DEVELOP:

- | | |
|---|---|
| <u> </u> In detail, the manner in which the land is to be used | <u> </u> Grading & Drainage Plan |
| <u> </u> Provision for service areas | <u> </u> Elevations |
| <u> </u> Provision for landscaping | <u> </u> Floor Plan |
| <u> </u> Provision for off-street parking | <u> </u> Size of the building(s) |
| <u> </u> Character & appearance of the Building(s) | <u> </u> Location of the building(s) |
| | <u> </u> 11x17 copies of plans |
| | <u> </u> Utility Plan w/details |

(For more detail, please see the attached City of Woodway Ordinances Sec. 2.10: Site Development Plans)

SIGNATURE OF APPLICANT: Sterling Thompson

By signing above, the applicant affirms that the information submitted is true and correct and affirms that the owner (if the applicant is not the owner of the property) has been made aware of this request and fully supports the proposed development.)

NOTE:

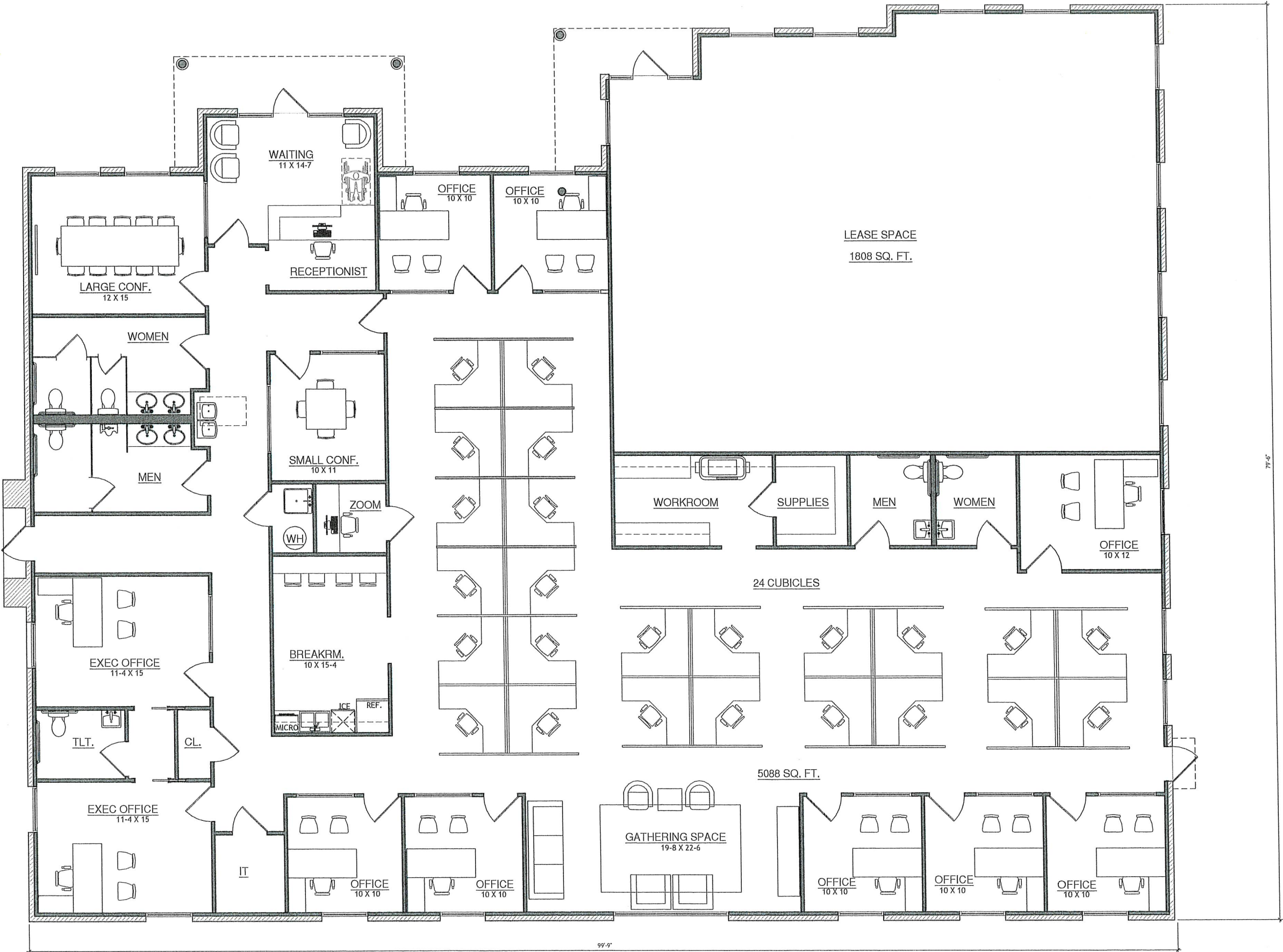
IT IS IMPERATIVE THAT THE APPLICANT OR AN INFORMED REPRESENTATIVE OF THE APPLICANT BE PRESENT AT THE PLANNING AND ZONING COMMISSION AND CITY COUNCIL MEETINGS TO EXPLAIN THE PLANS IN DETAIL AND ANSWER ANY QUESTIONS.

PART II – THIS SECTION TO BE FILLED OUT BY CITY OF WOODWAY STAFF

TENTATIVE schedule for Planning & Zoning Commission and City Council

Acceptance of application by City Council	<u>9/22/25</u>
Action by P&Z regarding recommendation to City Council	<u>9/23/25</u>
Final action by City Council	<u>10/6/25</u>

Application received by	<u>Angel</u>
\$300.00 application fee paid	<u> x </u> Yes
<u>Receipt # R003979N</u>	<u> </u> No
Forward for review processing to	<u>Donna</u>
Schedule dates provided to	<u>Sterling</u>
Information provided by	<u>Steven D.</u>



1 FLOOR PLAN
1/4" = 1'-0"
ACCOUNTING OFFICERS = 5409 SQ. FT.
LEASE SPACE = 1808 SQ. FT.



STERLING & KAP ARCHITECTS
2416 COLUMBUS AVENUE
WACO, TEXAS 76701
P: 254.756.2311 F: 254.756.2577
www.sterlingandkap.com

08/27/25

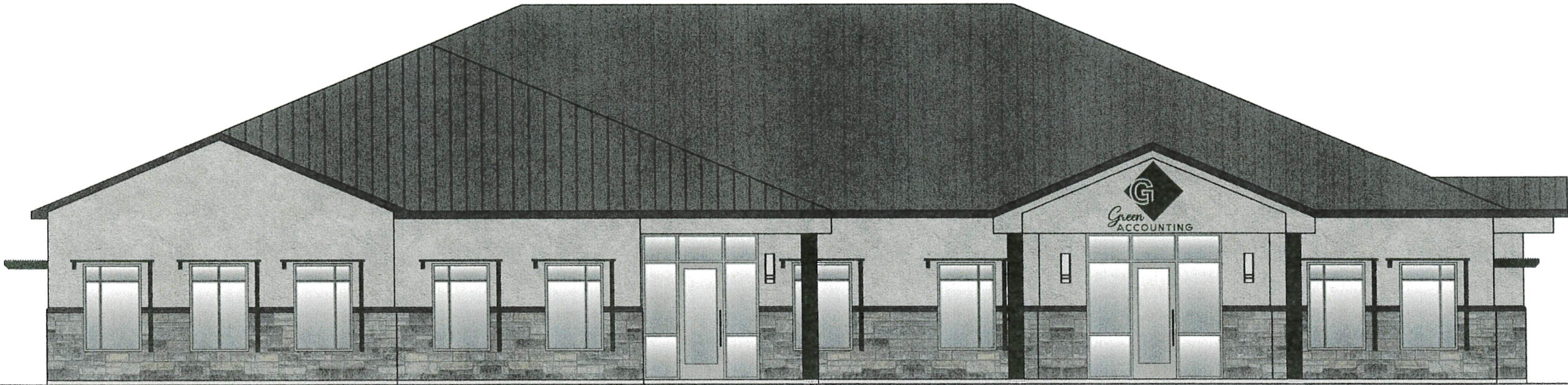
GREEN ACCOUNTING OFFICES
SANTA FE DRIVE
WOODWAY, TEXAS

PROJECT #:	2022-02-06
DRAWN:	SWT & MA
CHECKED:	SWT
DATE:	08/27/25
REVISIONS:	
0	00/00/00

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FLOOR PLAN

A2.1



1 FRONT ELEVATION
1/4" = 1'-0"



2 RIGHT SIDE ELEVATION
1/4" = 1'-0"



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08/27/25

GREEN ACCOUNTING OFFICES
SANTA FE DRIVE
WOODWAY, TEXAS

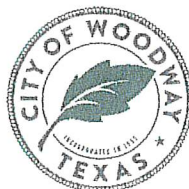
PROJECT #:	2022-02-06
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OR IN PART IS STRICTLY PROHIBITED.
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© COPYRIGHT 2025 ALL RIGHTS RESERVED

FRONT & RIGHT
EXTERIOR ELEVATIONS

A3.1

STAFF ONLY	
P&Z Date	9/23/25
CC Date	10/6/25
Fee PD: \$300	✓
Receipt #	R00397911
Accept by	Steven D.



APPLICATION FOR SITE DEVELOPMENT PLAN

This application is pursuant to Section 2.10 of the City of Woodway Code of Ordinances, Appendix A-Zoning. All applicants are encouraged to review this section and discuss the request with the Director of Community Services prior to submittal of the application.

NOTE: Application must be **RECEIVED AT LEAST 25 DAYS** in advance of the first public hearing by mail or in person to: Community Services, 924 Estates Drive, Woodway, Texas, 76712. Applications submitted on the 25th day before the first public hearing date must be received by 3:00 p.m. to allow staff sufficient time to meet newspaper deadlines and mail notices as required by law.

PART I TO BE COMPLETED BY APPLICANT

- (1) **Person, firm or corporation desiring to use land or erect buildings within a Planned District.**

J A Green Accounting

- (2) **Application information**

Mailing address: Sterling & Kap Architects LLC 2416 Columbus Avenue Waco , Texas 76701

Telephone: () 254-756-2311

Email: sterling@sterlingandkap.com

If firm or corporation, name of contact person: Sterling Thompson

(This individual will be contacted by city staff on all matters regarding the application)

- (3) **PROPERTY DESCRIPTION**

Lot: 3 Block: 1

Name of addition: Rodney Kroll Addition

PLEASE PROVIDE ACREAGE DESCRIPTION IF NOT PLATTED INTO A LOT AND BLOCK:

____ ACRE(S) IN THE _____ SURVEY
(If property is not platted, an acreage description a.k.a. field notes must be provided with the applicant as the wording must be included in the public hearing notice as required by law.)

Physical address of property:

No address at this time.

Brief description of property:

Basically square corner lot with an office building next door and a vacant lot behind

(4) Is this your original request to develop on this site?

Yes xx or No _____

(5) Per Section 2.1000: The Site Development Plan and application must be submitted with the following:

- x Two (2) full size sets and one (1) 11x17 size of maps and drawings.
- x Existing and proposed locations and arrangements of uses on the site, existing uses on abutting sites within fifty (50) feet of each lot line and any other information necessary to describe or identify the proposed development.
- x Existing proposed site improvements; building elevations for buildings on the site; off-site improvements, such as utilities, and drainage facilities and structures; location of all above ground and below ground accessory structures; and, street features. (Building elevations shall indicate the general height, bulk scale and architectural character of buildings.
- x Existing and proposed topography, watercourses, grading, landscaping, existing trees over ten (10) inches in diameter as measured one (1) foot above the ground, exterior lighting, screening, irrigation facilities, litter receptacles and erosion-control measures.

- x When access to a public water or sanitary sewer line is available at the site, details of proposed connections if the waterline is greater than one (1) inch in diameter or if the sewer line is greater than four inches in diameter.
- x Existing and proposed parking, driveways, loading and traffic and pedestrian circulation features on the site.
- x Where applicable, the location of the one hundred-year floodplain and the escarpment zone; and the approximate location of proposed signs, if known.

(6) Signature of applicant: _____

Sterling Thompson

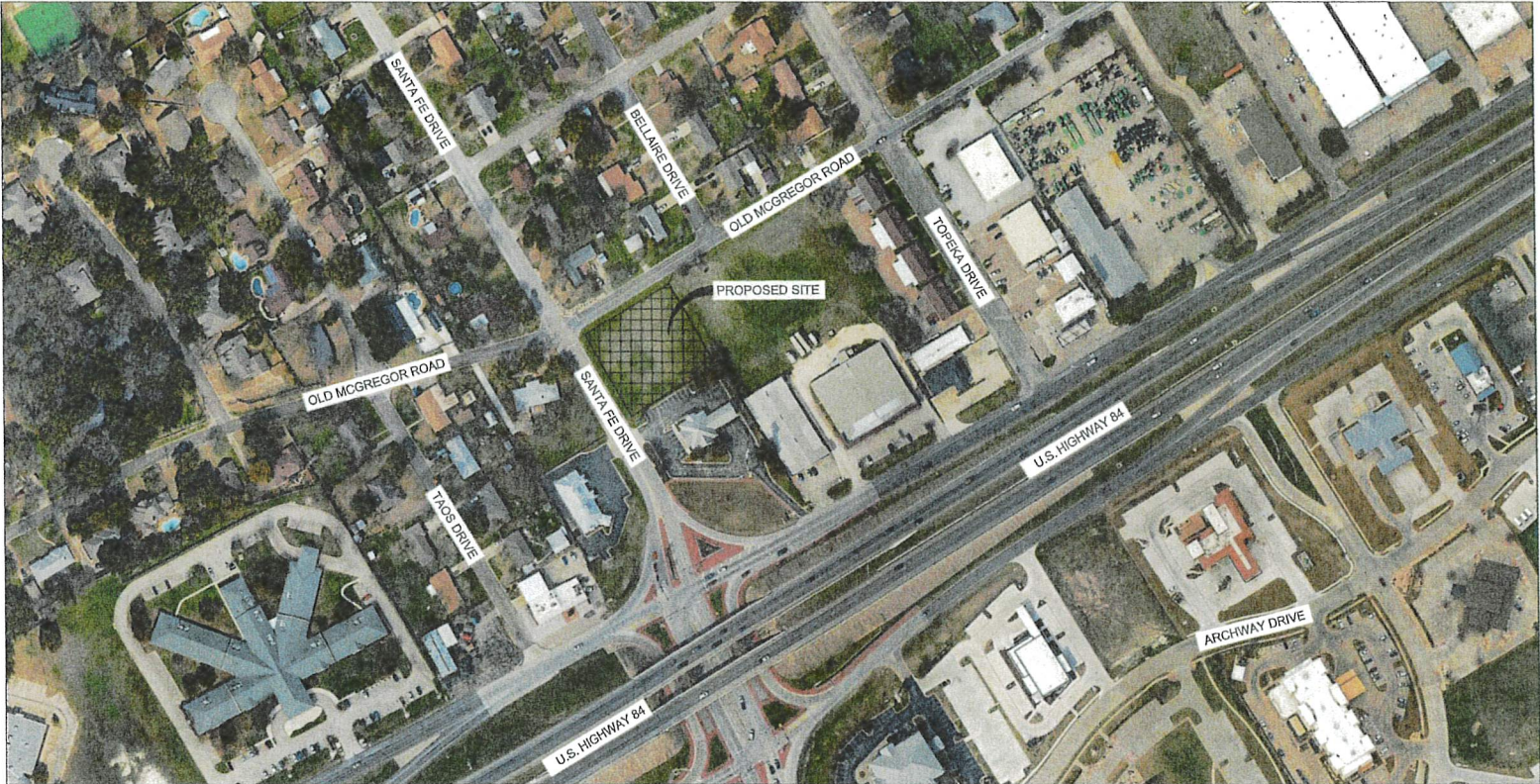
By signing above, the applicant that the information submitted is true and correct and affirms that the owner (if applicant is not the owner of the property) has been made aware of this request and fully supports the proposed development.

NOTE:

IT IS IMPERATIVE THAT THE APPLICANT OR AN INFORMED REPRESENTATIVE OF THE APPLICANT BE PRESENT AT THE PLANNING AND ZONING COMMISSION AND CITY COUNCIL MEETINGS TO EXPLAIN THE PLANS IN DETAIL AND ANSWER ANY QUESTIONS.

PRELIMINARY SITE PLANS FOR GREEN ACCOUNTING OFFICES

SANTA FE DRIVE
WOODWAY, TEXAS



PROJECT LOCATION MAP

SHEET INDEX

C1.1	SITE PLAN COVER SHEET / SHEET INDEX
C2.1	PROJECT CONSTRUCTION NOTES
C3.1	SITE PLAN
C4.1	GRADING - DRAINAGE PLAN
C5.1	CIVIL SITE DETAILS
C5.2	CITY OF WOODWAY DETAILS
	STANDARD DRIVE APPROACH DETAIL - STREET DETAIL 2
	SURFACE REPLACEMENT DETAILS - STREET DETAIL 4
	SURFACE REPLACEMENT DETAILS - STREET DETAIL 5
	WATER SERVICE INSTALLATION DETAIL - WATER DETAIL 3
	SEWER SERVICE CONNECTION DETAIL - SANITARY SEWER DETAIL 3
	STD. CURB / GUTTER ~ MOUNTABLE CURB / GUTTER DETAIL - EXCEPTION DETAIL 5

CENTEX ENGINEERS, LLC
EDWARD (JED) D. SULAK, JR., P.E., CFM
JED.SULAK@CENTEXENGINEERS.COM
1600 LAKE AIR DR., SUITE 131
WACO, TX 76710
P: 254.870.3500

CENTEX ENGINEERS, LLC
TBPE F-20801



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09/11/2025

PRELIMINARY SITE PLANS FOR
GREEN ACCOUNTING OFFICES
SANTA FE DRIVE
WOODWAY, TEXAS

PROJECT #:	1148
DRAWN:	CAD
CHECKED:	EDS
DATE:	09/11/2025
REVISIONS:	
0	00/00/00

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C1.1

GENERAL NOTES:

1. THE CONTRACTOR SHALL FURNISH THE ENGINEER WITH TWO SETS OF "AS-BUILT" DRAWINGS PRIOR TO REQUESTING A FINAL INSPECTION. THE "AS-BUILT" DRAWINGS SHALL SHOW THE LOCATIONS OF ALL SEWER AND WATER STRUCTURES, LINES, BENDS, AND APPURTENANCES. GRADES ON STORM SEWER LINES SHALL ALSO BE FURNISHED ON "AS-BUILT" DRAWINGS.
2. INSTALLATION OF ANY GRAVITY FLOW PIPE, SUCH AS SANITARY SEWER OR STORM DRAIN, SHALL REQUIRE THAT THE CONTRACTOR START AT THE LOWEST CONNECTION POINT ELEVATION, AND WORK IN THE UPHILL DIRECTION. IF, IN THE BEST INTEREST OF THE PROJECT, THE CONTRACTOR WISHES TO INITIATE PIPE LAYING AT SOME LOCATION OTHER THAN THE LOWEST CONTROL, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM A SATISFACTORY CONNECTION TO THE LOWEST CONTROL, PRIOR TO BEGINNING CONSTRUCTION AT SOME POINT OTHER THAN THE LOWEST CONTROL ELEVATION, THE CONTRACTOR SHALL REQUEST, IN WRITING, AND RECEIVE, IN WRITING, APPROVAL FROM THE DESIGN ENGINEER, WHOSE NAME APPEARS ON THESE PLANS SANITARY SEWER MAINS OR SERVICES WITH LESS THAN THREE FEET OF COVER SHALL BE DUCTILE IRON PIPE. WHEREVER A SANITARY SEWER SERVICE CROSSES OVER OR UNDER A STORM DRAIN PIPE AND/OR A WATER MAIN, THE SERVICE SHALL BE EXTENDED A MINIMUM OF FIVE FEET BEYOND THE FURTHEST PIPELINE. IN NO CASE, WITHOUT THE ENGINEERS WRITTEN APPROVAL, SHALL THE CONTRACTOR TERMINATE THE SANITARY SEWER SERVICE AT A LOCATION THAT WOULD REQUIRE THE BUILDING PLUMBER TO CROSS THE STORM DRAIN PIPE AND/OR WATER MAIN.
3. CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION TO PREVENT DAMAGE TO ALL TREE ROOTS DURING ENTRENCHING AND ANY OTHER CONSTRUCTION THAT MAY ENDANGER THE HEALTH OF THE TREES.

CONTRACTOR RESPONSIBILITY NOTES:

1. THE PROPOSED WORK ITEMS SHOWN ON THESE PLANS DOES NOT NECESSARILY DEPICT ANY AND ALL ITEMS THAT MAY BE REQUIRED TO IMPLEMENT A FINAL BEST MANAGEMENT PRACTICES STORMWATER POLLUTION PREVENTION PLAN. THESE WORK ITEMS DO NOT RELIEVE THE CONTRACTOR OF ENSURING THAT ALL LOCAL, STATE AND FEDERAL REQUIREMENTS FOR STORM WATER POLLUTION PREVENTION, WATER QUALITY AND ILLEGAL POINT SOURCE DISCHARGE ARE STRICTLY ADHERED TO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL ACTIONS THAT ARE NECESSARY TO BE IN COMPLIANCE WITH ALL OF THESE REGULATIONS. THE CONTRACTOR SHALL BEAR ALL EXPENSES RELATED TO IMPLEMENTING THESE MEASURES AND A PROPER BEST MANAGEMENT PRACTICES STORMWATER POLLUTION PREVENTION PLAN IRREGARDLESS OF WHETHER A REQUIRED FACILITY, STRUCTURE, FENCING, SEEDING, MATS, ETC. ARE SHOWN ON THESE PLANS.
2. THE CONTRACTOR SHALL CARE AND BE RESPONSIBLE FOR READING AND IMPLEMENTING ALL NOTES SHOWN ON THIS SHEET. THE CONTRACTOR SHALL NOT BE RELIEVED OF ANY REQUIREMENTS SET FORTH AS PART OF NOTES SHOWN ON THIS SHEET OR ANY ADDITIONAL COSTS THAT MAY BE INCURRED FOR FAILURE TO READ SAID NOTES.

SITE NOTES:

1. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS FOR THIS PROJECT PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR DEMOLITION.
2. CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION TO PREVENT DAMAGE TO ALL TREE ROOTS DURING ENTRENCHING AND ANY OTHER CONSTRUCTION THAT MAY ENDANGER THE HEALTH OF THE TREES ACCORDING TO THE LOCAL MUNICIPALITIES REQUIREMENTS.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH ANY AND ALL UTILITY COMPANIES IN REGARDS TO UTILITIES THAT MAY NEED TO BE RELOCATED AS PART OF THIS WORK.
4. CONTRACTOR SHALL PROVIDE PROPER TRAFFIC CONTROL WARNING SIGNS THROUGH THE DURATION OF THE PROJECT. ALL SIGNAGE SHALL BE IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), LATEST EDITION.
5. CONTRACTOR SHALL NOTIFY ALL AGENCIES AT LEAST SEVENTY-TWO (72) HOURS IN ADVANCE OF ANY ROAD CLOSINGS. THIS NOTIFICATION SHALL INCLUDE, BUT NOT BE LIMITED TO, POLICE, FIRE AND SCHOOL ALONG WITH ALL REGULATORY AND GOVERNMENTAL AGENCIES.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR PUBLIC NOTICE OF EACH ROAD CLOSING. CONTRACTOR SHALL FOLLOW ALL GUIDELINES FOR PUBLIC NOTICE AS ESTABLISHED BY CITY, COUNTY AND/OR STATE OFFICIALS ANY DELAY IN CONSTRUCTION DUE TO CONTRACTOR NOT NOTIFYING THE PROPER AUTHORITIES OR NOT FOLLOWING THE REGULATORY AGENCY REQUIREMENTS SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
7. IF TRAFFIC INTERRUPTIONS ARE REQUIRED, THEY SHALL BE KEPT TO A MINIMUM AND THE CONTRACTOR SHALL BE SUBJECT TO LOCAL LAWS IN REGARDS TO TRAFFIC INTERRUPTIONS.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF TREES SHOWN TO REMAIN. CONTRACTOR SHALL PROTECT TREES AS REQUIRED BY THE LOCAL MUNICIPALITIES TREE ORDINANCE AND/OR LAND DEVELOPMENT CODE.
9. ALL PERVIOUS AREAS DISTURBED DURING CONSTRUCTION SHALL RECEIVE NEW SOD OR SHALL BE SEEDED OR MULCHED MINIMUM, AFTER COMPLETION AND APPROVAL OF WORK IN THAT AREA.
10. CONTRACTOR SHALL INSTALL HANDICAP PARKING, SYMBOLS AND RAMPS PER ADA / TAS REQUIREMENTS.
11. CONTRACTOR SHALL STRIPE ALL HANDICAP PARKING SPACES BLUE. ALL OTHER STRIPING SHALL BE WHITE.
12. CONTRACTOR SHALL INSTALL CONCRETE CONTRACTION JOINTS ON 10-0" CENTERS, EXCEPT SIDEWALKS CONTRACTION JOINTS WHICH SHALL BE 5'-0" ON CENTER.
13. CONTRACTOR SHALL INSTALL 1/2" THICK EXPANSION FIBER BOARD BETWEEN THE SIDEWALKS AND OTHER CONCRETE STRUCTURES.
14. ANY EXISTING SITE DEBRIS AND/OR EXISTING STRUCTURES SHALL BE COMPLETELY REMOVED PRIOR TO CONSTRUCTION AS PER DEMOLITION PLAN UTILITY NOTES.

UTILITY NOTES:

1. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING LOCATIONS OF ALL PROJECT RELATED UTILITIES, BURIED AND ABOVE GROUND, REGARDLESS OF INCLUSION ON THESE PLANS. THE LOCATIONS OF ANY EXISTING UTILITIES SHOWN ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATIONS OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK.
2. ALL CONTRACTOR DAMAGED UTILITIES SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH OTHER TRADES FOR TIE IN LOCATION AND SIZE/FLOW REQUIREMENTS FOR WATER AND SEWER TIE IN. TIE IN LOCATIONS AND SIZES ARE SUBJECT TO CHANGE BASED ON ARCHITECTURAL AND PLUMBING PLANS.
3. CONTRACTOR SHALL NOTIFY THE APPROPRIATE UTILITY AT LEAST 48 HOURS PRIOR TO COMMENCING CONSTRUCTION HAVING POTENTIAL IMPACT TO THE UTILITY'S STRUCTURE.
4. WATER SERVICE SHALL BE MAINTAINED TO ALL EXISTING CUSTOMERS, IF ANY SERVICE MUST BE INTERRUPTED, THE AFFECTED CUSTOMERS SHALL BE NOTIFIED AT LEAST 48 HOURS IN ADVANCE BY THE CONTRACTOR.
5. CONTRACTOR SHALL PROVIDE A MINIMUM COVER OF 42", MINIMUM, ON ALL WATER MAINS.
6. NEW WATER MAIN SHALL MAINTAIN 18" VERTICAL SEPARATION BETWEEN WATER MAIN AND STORM DRAIN PIPES, WHERE CROSSINGS OCCUR. WATER MAIN SHALL BE ROUTED OVER STORM PIPE WHEREVER POSSIBLE.
7. ALL WATER LINE FITTINGS 4 INCHES IN DIAMETER AND LESS SHALL BE OF THE SAME MATERIAL AS THE PIPE (I.e., PVC) AND SHALL BE CONSISTENT THEREWITH IN STRENGTH, DIMENSIONS AND FUNCTION.
8. CONTRACTOR SHALL INSTALL THRUST BLOCKS AT ALL BENDS AND FITTINGS (SEE DETAIL SHEET).
9. CONTRACTOR SHALL INSTALL LOCATOR WIRE AROUND ALL NEW INSTALLED PIPE AND FITTINGS.
10. ALL PROPOSED POTABLE WATER LINE FITTINGS, FIRE HYDRANTS AND ALL OTHER WATER LINE PIPING MATERIALS AND FITTINGS FOR THIS PROJECT SHALL BE AWWA APPROVED.
11. CONTRACTOR SHALL INSTALL ALL WATER LINES AND FITTINGS AS PER MANUFACTURERS INSTALLATION RECOMMENDATIONS.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH BUILDING CONTRACTOR FOR LOCATION OF ALL UTILITY ENTRANCES AND CONNECTIONS.
13. CONTRACTOR SHALL PROVIDE WATER AND SEWER SERVICE TO WITHIN FIVE (5) FEET OF THE BUILDING AT THE REQUIRED LOCATION AS DIRECTED BY THE BUILDING CONTRACTOR.
14. EXISTING WATER AND SANITARY SERVICE LINES SHOWN ARE APPROXIMATE LOCATIONS ONLY CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING THESE LINES LOCATED AND COORDINATE TIE IN LOCATIONS WITH THE BUILDING CONTRACTOR.
15. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING BUILDING SANITARY SEWER PIPE ELEVATION AND DETERMINE THE ELEVATION REQUIRED TO CONNECT TO THE EXISTING SEWER LINES.
16. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ALL SEWER LINES TO INSURE POSITIVE FLOW OF SEWER LINES.
17. THESE PLANS ARE SUBJECT TO APPROVAL BY THE LOCAL GOVERNING MUNICIPALITY AND ANY OTHER GOVERNING AUTHORITY.
18. ENGINEER HAS ATTEMPTED TO UTILIZE APPARENT EXISTING UTILITIES ON THE SITE, HOWEVER THE FUNCTION OR FEASIBILITY OF UTILIZING THESE APPARENT UTILITIES HAS NOT BEEN FIELD VERIFIED. THE ENGINEER DOES NOT WARRANT TO THE OWNER OR THE CONTRACTOR THAT THESE UTILITIES CAN BE USED. THIS SHOULD BE FIELD VERIFIED BY THE CONTRACTOR AND BE ACCOUNTED FOR APPROPRIATELY IN THE COSTING OF THE PROJECT.



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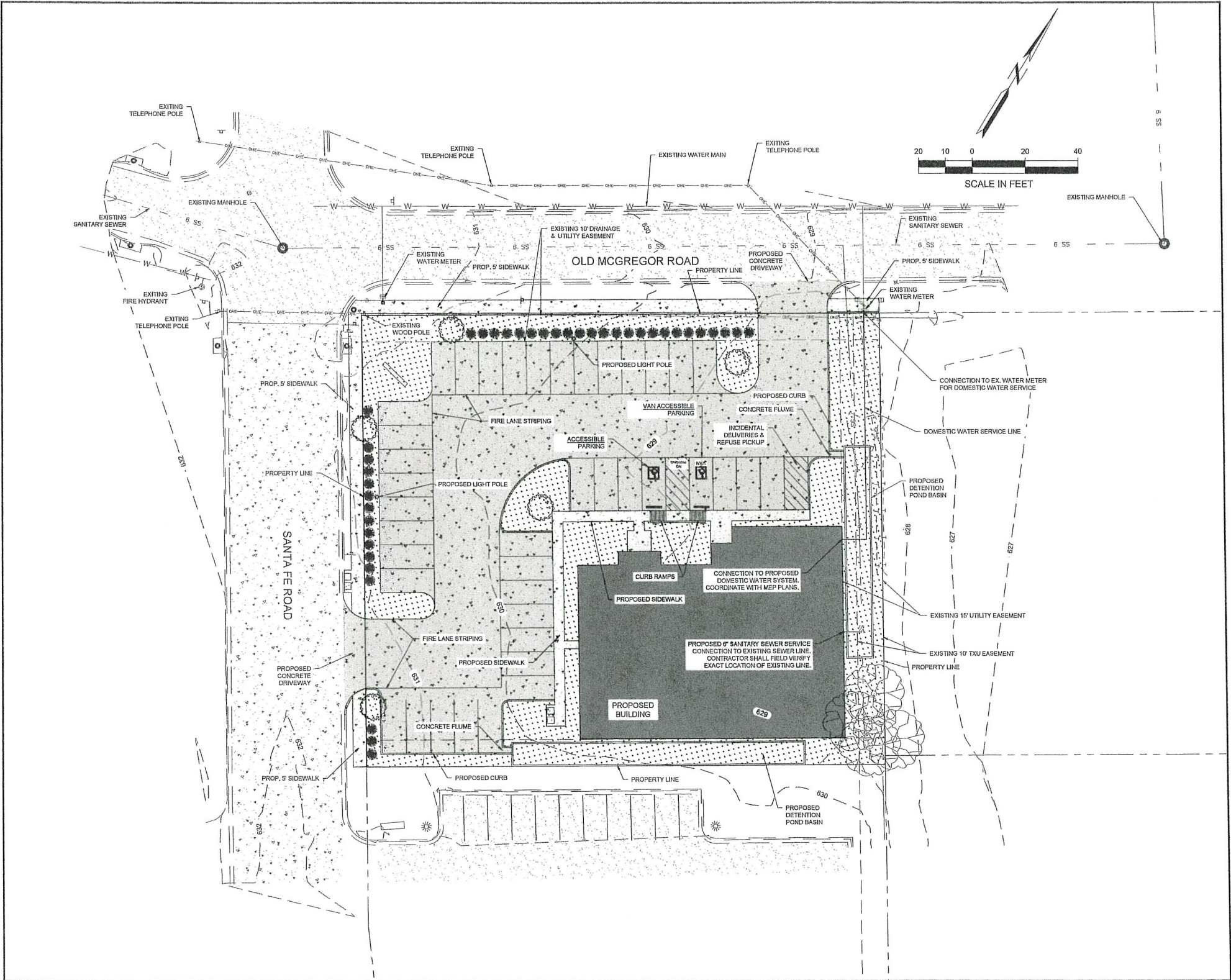


Ed D. Sulak, Jr.
ENGINEER
09/11/2025

PRELIMINARY SITE PLANS FOR
GREEN ACCOUNTING OFFICES
SANTA FE DRIVE
WOODWAY, TEXAS

PROJECT #:	1148
DRAWN:	CAD
CHECKED:	EDS
DATE:	09/11/2025
REVISIONS:	
0	00/00/00

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LEGEND			
	PROPOSED CONCRETE PAVEMENT		PROPOSED LANDSCAPE (GRASS)
	PROPOSED CONCRETE SIDEWALK		EXISTING CONCRETE PAVEMENT / CONCRETE FLATWORK
	PROPOSED HMA PAVEMENT		EXISTING HMA PAVEMENT
	EXISTING CONTOUR (WHERE SHOWN)		PROPOSED CONTOUR (WHERE SHOWN)

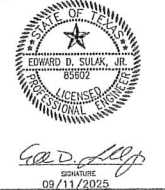
SITE PLAN

- SITE NOTES:
1. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS FOR THIS PROJECT PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR DEMOLITION.
 2. CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION TO PREVENT DAMAGE TO ALL TREE ROOTS DURING TRENCHING AND ANY OTHER CONSTRUCTION THAT MAY ENDANGER THE HEALTH OF THE TREES ACCORDING TO THE LOCAL MUNICIPALITIES REQUIREMENTS.
 3. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH ANY AND ALL UTILITY COMPANIES IN REGARDS TO UTILITIES THAT MAY NEED TO BE RELOCATED AS PART OF THIS WORK.
 4. CONTRACTOR SHALL PROVIDE PROPER TRAFFIC CONTROL WARNING SIGNS THROUGH THE DURATION OF THE PROJECT ALL SIGNAGE SHALL BE IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), LATEST EDITION.
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 11. CONTRACTOR SHALL STRIPE ALL HANDICAP PARKING SPACES BLUE. ALL OTHER STRIPING SHALL BE WHITE.
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 14. ANY EXISTING SITE DEBRIS AND/OR EXISTING STRUCTURES SHALL BE COMPLETELY REMOVED PRIOR TO CONSTRUCTION PER THESE PLANS AND OR NOTES.

CENTEX ENGINEERS, LLC
TBPE F-20801



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WACO, TEXAS 76701
P: 254.756.2311 F: 254.756.2577
www.sterlingandkap.com

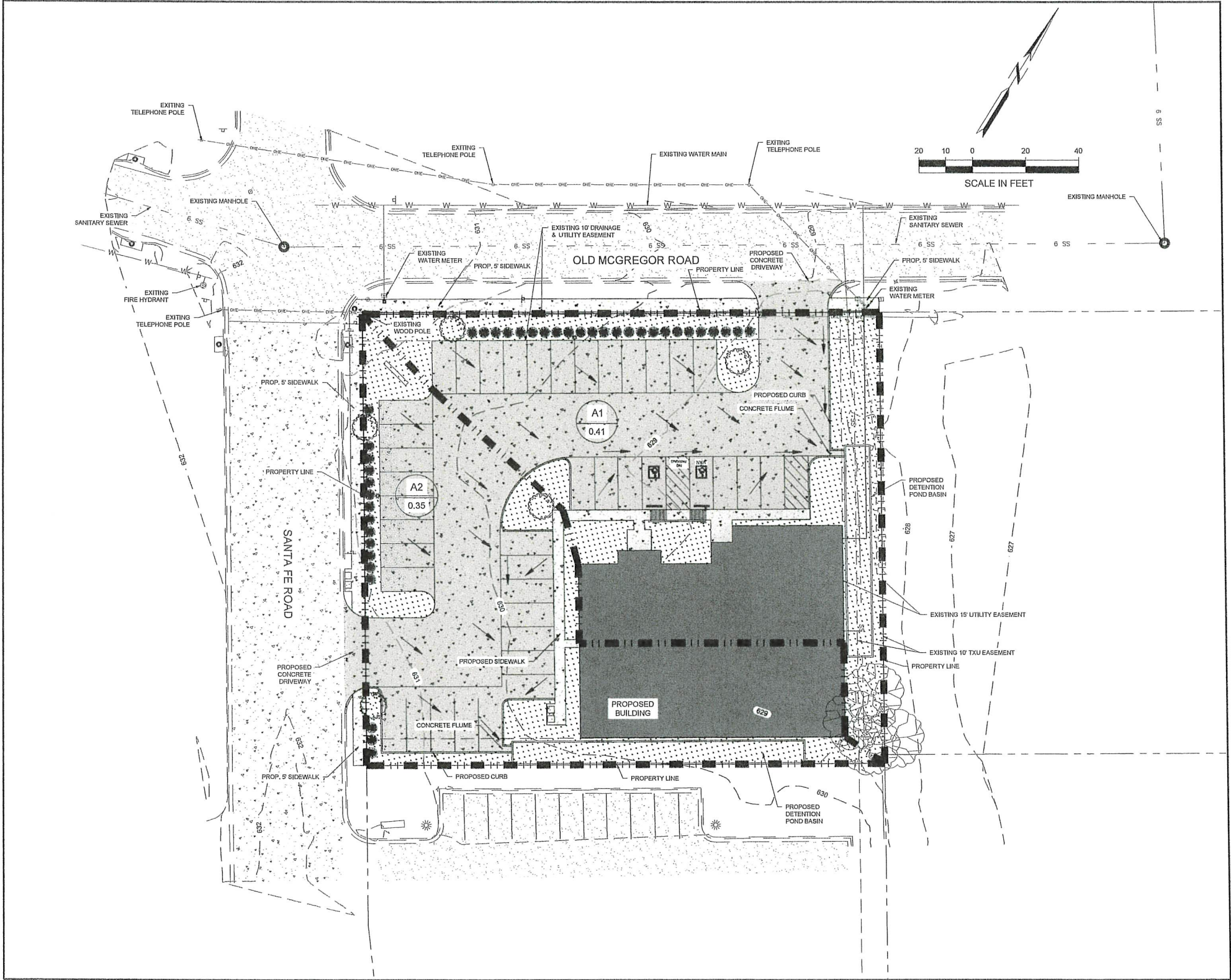


PRELIMINARY SITE PLANS FOR
GREEN ACCOUNTING OFFICES
SANTA FE DRIVE
WOODWAY, TEXAS

PROJECT #:	1148
DRAWN:	CAD
CHECKED:	EDS
DATE:	09/11/2025
REVISIONS:	
0	00/00/00

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C3.1



XX

DRAINAGE AREA DESIGNATION

AREA

DRAINAGE AREA IN ACRES

RATIONAL METHOD EQUATION

$Q = (C) (I) (A)$

SITE DRAINAGE BASIN AREA DIVIDE

DIRECTIONAL FLOW ARROWS

HYDROLOGY (RATIONAL METHOD)						
PRE-DEVELOPMENT						
AREA DESIGNATION	AREA (Acres)	Tc (Min)	COEF. OF RUNOFF	FREQ.	INTEN. (in./hr.)	DISCHARGE (CFS)
A1	0.41	10.00	0.25	2	4.81	0.493
A1	0.41	10.00	0.25	5	5.95	0.611
A1	0.41	10.00	0.25	10	6.91	0.709
A1	0.41	10.00	0.29	25	8.23	0.979
A1	0.41	10.00	0.32	50	9.26	1.216
A1	0.41	10.00	0.36	100	10.31	1.521
A2	0.35	10.00	0.25	2	4.81	0.421
A2	0.35	10.00	0.25	5	5.95	0.522
A2	0.35	10.00	0.25	10	6.91	0.605
A2	0.35	10.00	0.29	25	8.23	0.835
A2	0.35	10.00	0.32	50	9.26	1.038
A2	0.35	10.00	0.36	100	10.31	1.299

HYDROLOGY (RATIONAL METHOD)						
POST-DEVELOPMENT						
AREA DESIGNATION	AREA (Acres)	Tc (Min)	COEF. OF RUNOFF	FREQ.	INTEN. (in./hr.)	DISCHARGE (CFS)
A1	0.41	5.00	0.70	2	6.00	1.723
A1	0.41	5.00	0.70	5	7.46	2.141
A1	0.41	5.00	0.70	10	8.69	2.494
A1	0.41	5.00	0.75	25	10.37	3.189
A1	0.41	5.00	0.79	50	11.70	3.768
A1	0.41	5.00	0.84	100	13.01	4.481
A2	0.35	5.00	0.70	2	6.00	1.471
A2	0.35	5.00	0.70	5	7.46	1.828
A2	0.35	5.00	0.70	10	8.69	2.129
A2	0.35	5.00	0.75	25	10.37	2.723
A2	0.35	5.00	0.79	50	11.70	3.234
A2	0.35	5.00	0.84	100	13.01	3.825

LEGEND

PROPOSED CONCRETE PAVEMENT

PROPOSED LANDSCAPE (GRASS)

PROPOSED CONCRETE SIDEWALK

PROPOSED HMAC PAVEMENT

EXISTING CONCRETE PAVEMENT / CONCRETE FLATWORK

EXISTING HMAC PAVEMENT

EXISTING CONTOUR (WHERE SHOWN)

PROPOSED CONTOUR (WHERE SHOWN)

PRELIMINARY GRADING / DRAINAGE PLAN

CENTEX ENGINEERS, LLC
TBPE F-20801



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2416 COLUMBUS AVENUE
WACO, TEXAS 76701
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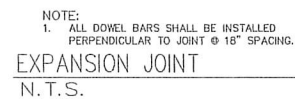
09/11/2025

PRELIMINARY SITE PLANS FOR
GREEN ACCOUNTING OFFICES
SANTA FE DRIVE
WOODWAY, TEXAS

PROJECT #:	1148
DRAWN:	CAD
CHECKED:	EDS
DATE:	09/11/2025
REVISIONS:	
0	00/00/00

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C4.1



#3 SMOOTH BAR 24"
LONG, ASPHALT COATED
& SPACED 36" O.C.
LUBE END & FIT INTO
3/4" I.D. PVC PIPE W/
CAPPED END AS SHOWN



KAP & ARCHITECTS

STERLING & KAP ARCHITECTS
2416 COLUMBUS AVENUE
WACO, TEXAS 76701
P: 254.756.2311 F: 254.756.2577
www.sterlingandkap.com



G.D. Lee
SIGNATURE
07/07/2025

**SITE PLANS FOR
GREEN ACCOUNTING OFFICES**
SANTA FE DRIVE
WOODWAY, TEXAS

PROJECT #:	1148
DRAWN:	CAD
CHECKED:	EDS
DATE:	07/07/2025
REVISIONS:	
0	00/00/00

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C5.1

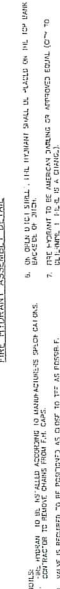


WHICH CONSTRUCTING DRIVE AT EXISTING CURB
CORN MUST BE SAVED.



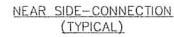
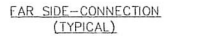
CITY OF WOODWAY
DESIGN STANDARDS

DATE: 3/9/81	02/78	5* CONTINUAL
DISCOVERED BY: M. DAVISON	△	
DOCKED BY: M. DAVISON	△	
DISCOVERED BY: J. VERNER	△	
APPROVED BY: CITY COUNCIL	△	



CITY OF WOODWAY
DESIGN STANDARDS

DATE	3/2/81	BY	△
DESIGNED BY	M. DAMS	△	
WORKING DRAWING		△	
REVISION		△	
APPROVED BY		△	

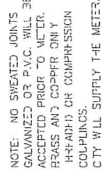


WATER SERVICE INSTALLATION DETAIL

- NOTES
1. SERVICES TO BE TYPE "A" COPPER OR C901 POLYETHYLENE TUBING
 2. C901 PE TO BE EXTERIOR BLUE IN COLOR, SDR 9, 1" C'S TUBING.
 3. USE STAINLESS STEEL INSET.
 4. PE TUBING TO MEET NSF 61 AND AWWA C901 STANDARDS, AS WELL AS ASTM D3350 AND D2737.



CITY OF WOODWAY
DESIGN STANDARDS
WATER
DETAIL 2

[illegible]

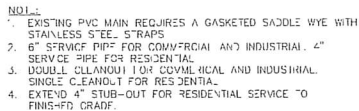
AUTOMATIC FLUSH VALVE

**CITY OF WOODWAY
DESIGN STANDARDS**

**WATER
DETAIL 6**

SCALE: N.T.S.	△
DESIGNED BY: M. BARNER	△
DRAWN BY: M. BARNER	△
CHECKED BY: M. BARNER	△
APPROVED BY: CITY COUNCIL	△

Sheet Number 1



SEWER SERVICE CONNECTION DETAIL



OF WOODWAY
IN STANDARDS
ITARY SEWER
DETAIL 2

NAME: 1/A- 1'	△	EL/20.0' SLAB C/L TO GRADE
DESIGNED BY: M. JANSSEN	△	
DRAWN BY: M. JANSSEN	△	
CHECKED BY: J. NORMAN	△	
APPROVED BY: CITY ENGINEER	△	



OF WOODWAY
N STANDARDS
TARY SEWER

5246 F.	$\Delta/\pi^* = 1$	Δ	
7550 MB. B.	M. DAMSEN	Δ	
7549 B.	M. DAMSEN	Δ	
5100 F.	M. DAMSEN	Δ	
5100 F.	M. DAMSEN	Δ	

TBPE F-20801

**SITE PLANS FOR
GREEN ACCOUNTING OFFICES**
SANTA FE DRIVE
WOODWAY, TEXAS

PROJECT #:	1148
DRAWN:	CAD
CHECKED:	EDS
DATE:	07/07/2025
REVISIONS:	
0	00/00/00

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C5.2

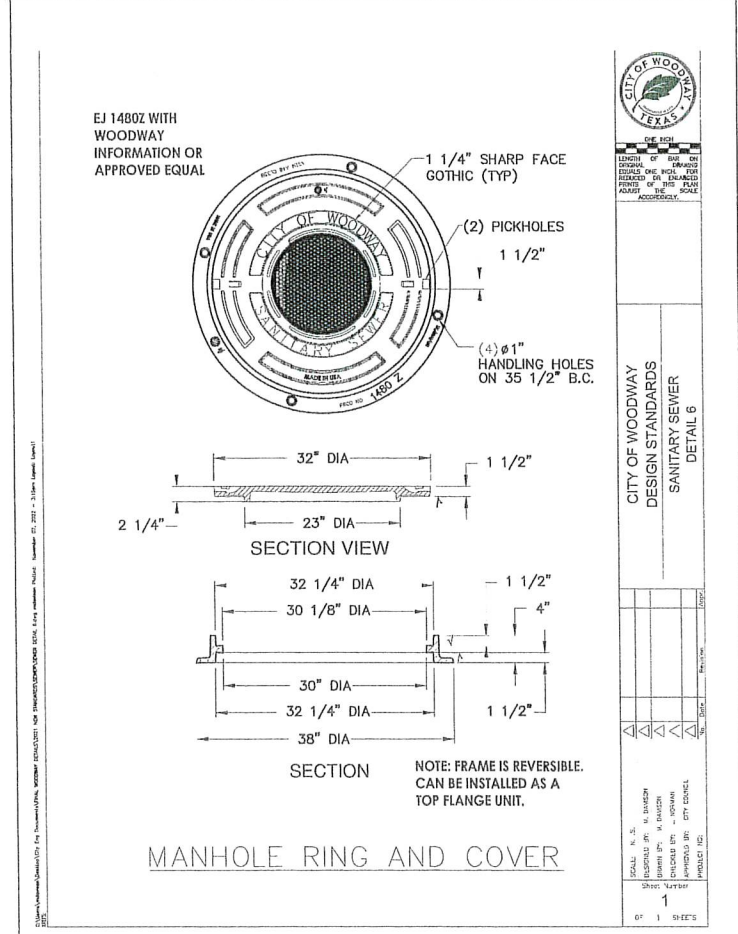
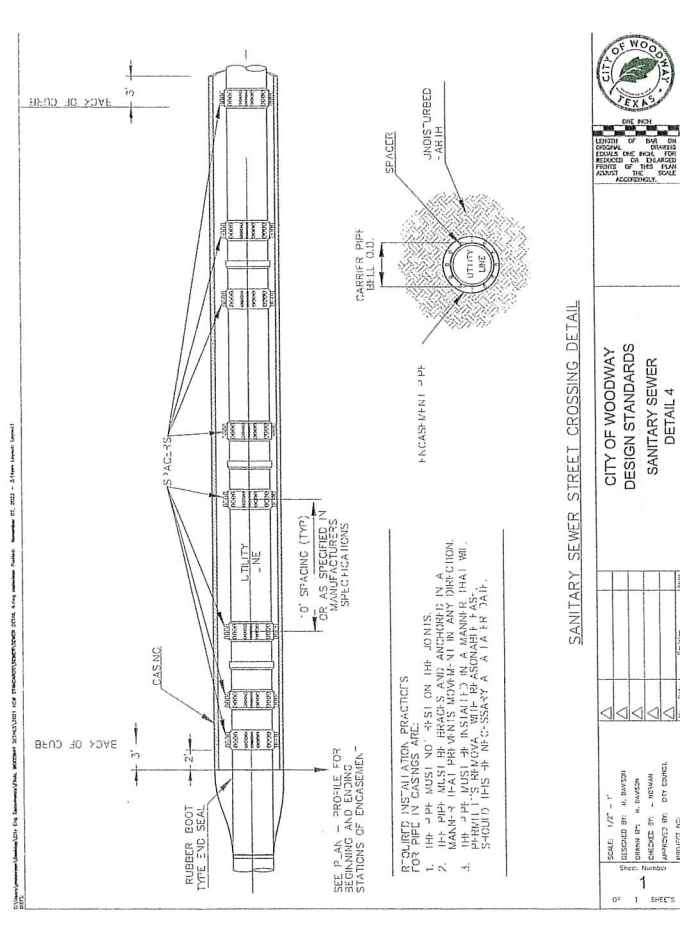
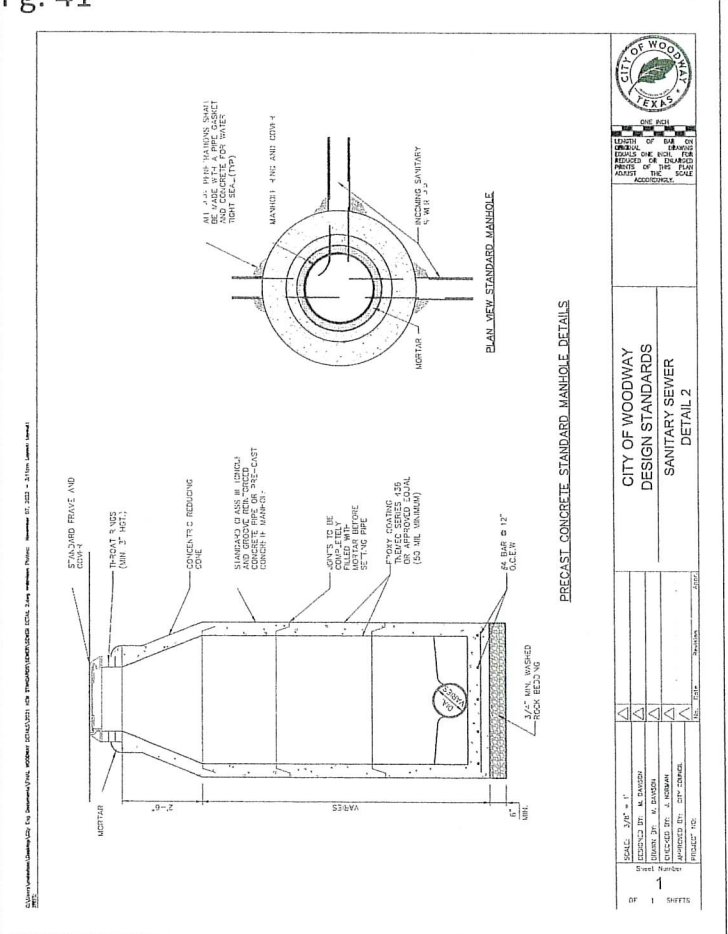
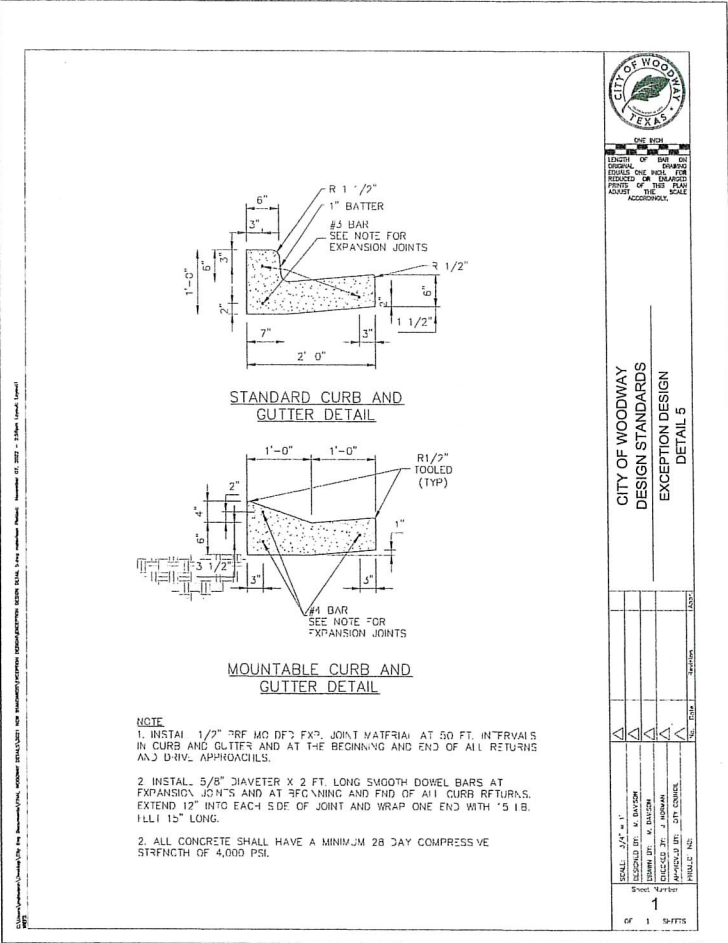
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www.sterlingandkap.com



G. D. Lee
SIGNATURE
07/07/2025



KAP
&
ARCHITECTS



CITY OF WOODWAY
STANDARD DETAILS
CENTEX ENGINEERS, LLC
TBPE F-20801

PROJECT #: 1148
DRAWN: CAD
CHECKED: EDS
DATE: 07/07/2025
REVISIONS:

0	00/00/00

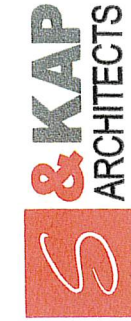
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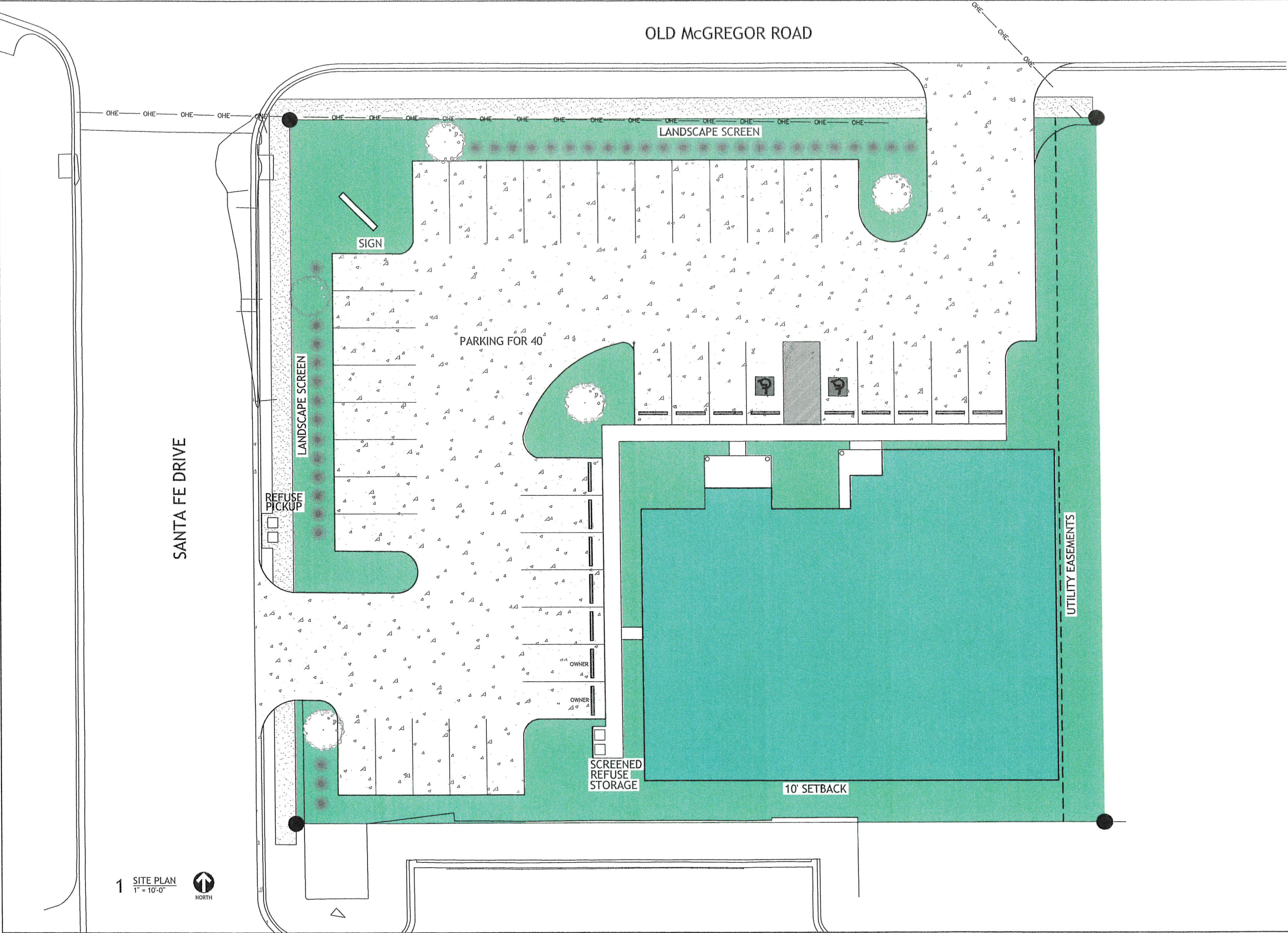
C5.3

SITE PLANS FOR
GREEN ACCOUNTING OFFICES
SANTA FE DRIVE
WOODWAY, TEXAS



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WACO, TEXAS 76701
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00/00/00

NEW OFFICES FOR
GREEN ACCOUNTING
SANTA FE DR.
WOODWAY, TX 76712

PROJECT #:	2025-03-11
DRAWN:	SWT
CHECKED:	SWT
DATE:	08/29/25
REVISIONS:	
0	00/00/00

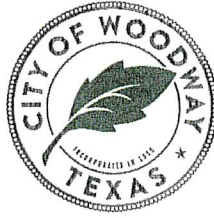
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NOT FOR PERMITTING

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SITE PLAN

A3.1

AMENDED NOTICE OF PUBLIC HEARINGS



Application to Develop in a Planned District And Site Development Plan

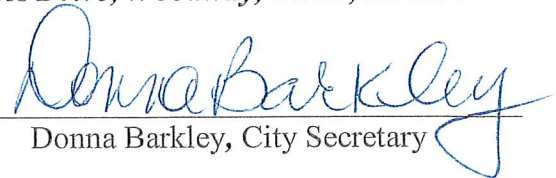
Notice is hereby given to all interested persons that the Planning and Zoning Commission of the City of Woodway, Texas, will conduct public hearings in the Donald J. Baker Council Chambers at Woodway City Hall, 922 Estates Drive, Woodway, Texas, at 5:00 p.m. on Tuesday, September 23, 2025, on the following requests:

Application to Develop and Site Development Plan in a Planned District (Green Accounting Offices) Lot 3, Block 1, Rodney Kroll Addition, to the City of Woodway, McLennan County, Texas, located at the southeast corner of Santa Fe Dr. and Old McGregor Rd.

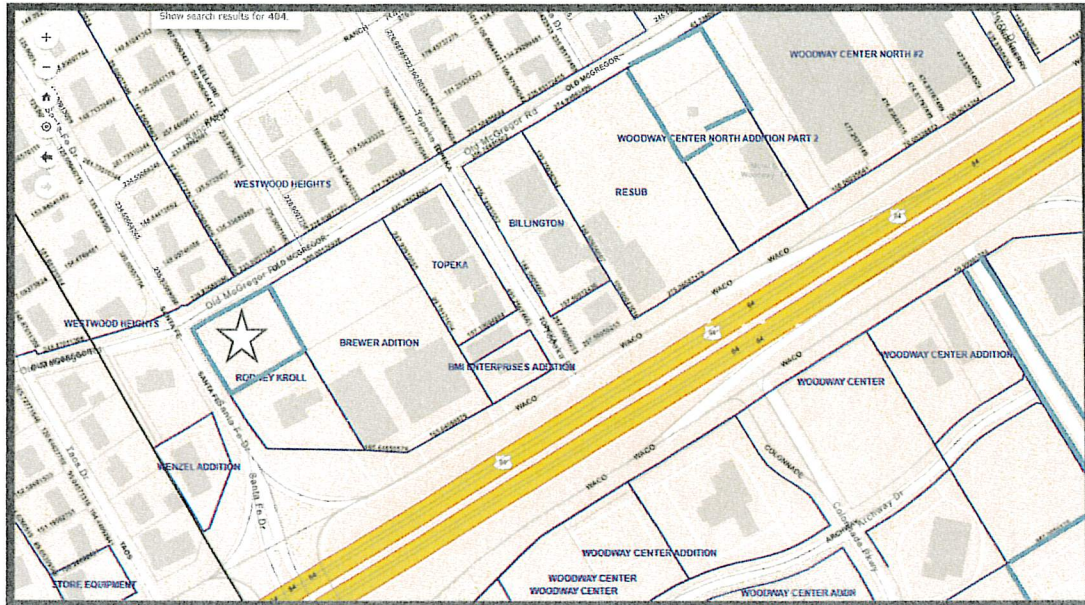
The Woodway City Council is scheduled to conduct public hearings on the requests noted above in the Donald J. Baker Council Chambers at Woodway City Hall, 922 Estates Drive, Woodway, Texas, on Monday, October 6, 2025 at 5:30 p.m., and afterwards is scheduled to consider the recommendations of the Planning and Zoning Commission and take final action on the requests.

For additional information related to this request, please contact Mitch Davison, Director of Community Services and Development, 924 Estates Drive, Woodway, Texas (254-772-4050).

This notice was posted at Woodway City Hall, 922 Estates Drive, Woodway, Texas, on the 3rd day of September 2025 at 5:00 p.m.


Donna Barkley, City Secretary

This facility is wheelchair accessible and accessible parking spaces are available. Requests for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (254) 772-4480 or FAX (254) 772-0695 for further information.



Part of the City's public hearing process includes mailing notices to the owners of all parcels of property (in the Woodway city limits) that are within 200 feet of the subject property. (We utilize McLennan County Appraisal District records - the most recently approved municipal tax roll - to compile the mailing list.) If you no longer own property within 200 feet of the subject property shown on this map, you may assist by forwarding this notice to the current owner; however, notices are also posted at Woodway City Hall and advertised in the official newspaper of the City, as required by law, to insure all notification requirements are met.

APPLICATION For App to Dev & Site
Development (Green Accounting Offices)

Lot 3, Block 1
Rodney Kroll Addition
the southeast corner of Santa Fe/Old
McGregor

J A Green Investments, LLC
10 Lake Stone Ct.
Woodway, TX 76712

Timothy Hess
200 Santa Fe Dr.
Woodway, TX 76712

Richard Hess
7600 Old McGregor Rd.
Woodway, TX 76712

Fishers of Men Investments, LTD
100 Santa Fe Dr., Ste. 1
Woodway, TX 76712

Texas First State Bank
101 Santa Fe Dr.
Woodway, TX 76712

Ivy & Blue Skies, LLC –
Series 201 Santa Fe Dr.
531 Santa Fe Dr.
Woodway, TX 76712

Kaley Threet and James Threet, Jr.
209 Santa Fe Dr.
Woodway, TX 76712

Michael D. Talbot
208 Hewitt Dr., Suite 103-174
Waco, TX 76712

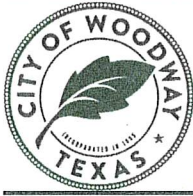
Alex Martinez
200 Bellaire Dr.
Woodway, TX 76712

Josue and Maria Lira
201 Bellaire Dr.
Woodway, TX 76712

Rayker LLP
104 Bradford Square
Woodway, TX 76712

Robert Max Brewer
721 Lost Gold Rd.
Waco, TX 76708

Sterling Thompson
Sterling and Kap Architects, LLC
2416 Columbus Ave.
Waco, TX 76701



CITY COUNCIL AGENDA ITEM FORM

Meeting Date: October 6, 2025

Prepared By: Mitch Davison

Approved By: 

- ☐ Presentation, Report and/or Discussion Only
- ☐ Public Hearing/Related Action
- ☒ Individual Discussion/Action
- ☐ Consent
- ☐ Executive Session

Caption:

Discussion and consider action to approve a Contract Amendment with STV, Inc., for additional Construction Administration and Resident Project Representative services for the Fairway Gravity Sewer Replacement Phase III, in an amount not to exceed \$96,825.00, and authorizing the City Manager to execute any documents in connection therewith

Background Information:

STV, Inc. has prepared a request for a Contract Amendment to the Fairway Gravity Sewer Replacement Phase III project to provide additional Construction Administration (CA) and Resident Project Representative (RPR) services. Due to the Contractor's construction schedule continuing past their scheduled completion date, the current funds available for Construction Phase services are nearly exhausted and will be insufficient to reach the Contractor's projected final work completion date of January 23, 2026.

As of August 22, 2025, approximately \$7,940 remained available in CA services and approximately \$33,470 remained available in RPR services for field observation. Based on the Contractor's past level of activity, STV, Inc. has generally incurred \$5,000 – \$7,500 per month in CA costs and \$15,000 – \$18,000 per month in RPR costs, depending on progress, overtime, and weekend work. At these rates, the CA budget is expected to be depleted by mid-September 2025 and the RPR budget by mid-October 2025.

The Contractor is currently projecting substantial completion by January 23, 2026, with final closeout expected shortly thereafter. To provide coverage through this revised schedule, STV, Inc. is requesting additional CA fees in the amount of \$33,750 and additional RPR fees in the amount of \$63,075, for a total of \$96,825. These costs are eligible to be recovered by the City under the Liquidated Damages provisions of the Construction Contract, as they are the result of the project extending past the original Substantial Completion deadline of June 12, 2023.

Financial Impact:

Total of Proposed Expenditure:	\$96,825.00
Amount Budgeted:	N/A
Account No.:	515-4502-4527306 (Project #51501)
If not budgeted, other funding options:	

Staff Recommendation:

Staff recommends approval of a Contract Amendment with STV, Inc., for additional Construction Administration and Resident Project Representative services for the Fairway Gravity Sewer Replacement Phase III project, in an amount not to exceed \$96,825.00, and authorizing the City Manager to execute any necessary documents in connection therewith.



200 West State Highway 6, Suite 620
Waco, TX 76712
o. 254.772.9272 | f. 254.776.2924
TBPE F-1741 | TBPLS 10194115
stvinc.com

August 26, 2025

Adam Niolet, City Manager
City of Woodway
922 Estates Drive
Woodway, TX 76712

Re: Fairway Gravity Sewer Replacement Phase III –
Contract Amendment No. 5 Request for Additional Construction Phase Services Fees

Dear Adam:

STV Incorporated (STV) has prepared this request for a Contract Amendment to the above referenced project to provide additional Construction Administration (CA) and Resident Project Representative (RPR) services.

Due to the Contractor's construction schedule continuing to run past their scheduled completion date, we are once again approaching exhaustion of the current funds available for Construction Phase services on the project. As a result, the remaining CA and RPR fees will be insufficient to reach the end of the Contractor's projected final work completion date of January 23, 2026. Currently, the Contractor has installed the gravity sewer mainline up to MH-H126 (Sta. 140+21), with approximately 1,650 LF of mainline sewer piping remaining to be installed. Should the Contractor not complete final construction by their most recent projected date of January 23, 2026, then the funds requested in this letter will likely be insufficient and STV will request future additional funds.

As of August 22, 2025, approximately \$7,940 remained available in CA services and approximately \$33,470 remained available in RPR Services for field observation. Using the Contractor's past level of construction activity, STV has generally incurred \$5,000.00 - \$7,500.00 per month in Construction Administration costs and \$15,000.00 - \$18,000.00 per month in RPR costs, which varies due to the Contractor's progress, worked overtime, and Saturday work. As a result, there is currently sufficient CA budget to last approximately into the latter half of September 2025 and sufficient RPR budget to last until approximately mid-October 2025.

We have estimated the current amount of anticipated setoffs (back charges) allowed by the construction contract between the City and Contractor through the current Contract Amendment No. 4, which totals approximately \$346,390. The total construction contract amount for the project is \$10,625,719.35 and the total retainage to be withheld from payment to the Contractor prior to final payment will be \$531,286 (i.e., 5% of the total contractor amount).

As a result of the Contractor's current projected final construction schedule of January 23, 2026, we are requesting additional CA fees in the amount of \$33,750.00 and additional RPR fees in the amount of \$63,075.00 for a total of \$96,825.00 with the anticipation that these additional funds will extend CA and RPR Services through the end of January 2026. The above additional Construction Services of \$96,825.00

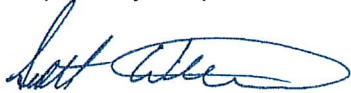
plus the current qualified offsets to the Contractor's final payment of \$392,570.00 due to previous additional Professional Services through Contract Supplemental No. 4, totals \$489,395.00, which is approximately \$41,891 below the total anticipated project retainage amount of \$531,286.00.

Description	Type	Additional Hours	Rate per Hour	Cost
Phase 60 Construction Administration Services	Hourly, Not to Exceed	Varies	Varies	\$33,750.00
Phase 70 Resident Project Representative	Hourly, Not to Exceed	435	\$145.00	\$63,075.00
TOTAL FEES				\$96,825.00

The City of Woodway will only be charged for the actual time charges incurred by our staff for work required for Construction Administration and RPR services. Also, because these costs are being incurred by the City as a result of the Construction Contract extending past the project's current Substantial Completion deadline of June 12, 2023, these costs are eligible to be recovered by the City from the Contractor under the Liquidated Damages clause(s) of the Construction Contract.

Please review this amendment and if satisfactory, we respectfully request that you sign this Contract Amendment for the amount reflected herein. If you have any questions, please contact me.

Respectfully Requested,



Scott C. Wetzel, P.E.

Vice President

CP&Y, Inc. dba STV Infrastructure

Acceptance by the City of Woodway:

Adam Niolet, City Manager

Cc: Mitch Davison, PE, Director of
Community Services, City of Woodway
Project #COWO1700384

Date





CITY COUNCIL AGENDA ITEM FORM

Meeting Date: October 6, 2025

Prepared By: A. Niolet, City Manager

Approved By: 

- ☐ Presentation, Report and/or Discussion Only
- ☐ Public Hearing/Related Action
- ☒ Individual Discussion/Action
- ☐ Consent
- ☐ Executive Session

Caption:

Discussion and consider action to remove, add, or change traffic control devices on Old Farm Rd., Oak Springs Dr., and neighboring streets

Background Information:

The City Manager was asked to meet with citizens regarding complaints about traffic safety and traffic volume on Oak Springs Drive. The concern stems from the diverted traffic caused by the installation of speed bumps on Old Farm Road. This installation was in response to several citizens that live on Old Farm Road, appearing before the Council to express their desire to have speed bumps installed.

The City Manager, a Public Safety Captain and the Community Services Director met with three citizens of Oak Springs Drive to discuss their concerns; at which time several traffic control proposals were voiced in an informal discussion. Subsequently, the manager requested the Public Safety Director to conduct traffic studies of the two streets to gather traffic pattern data in preparation for a future conversation.

At the time of drafting this document, there are no known life safety issues impacting either street according to the data provided by routine police patrol and the static traffic trailer.

The citizens still desired to be heard before the Council to discuss solutions. Being a policy issue, the Council may hear the concerns and direct the City Manager to proceed as they desire.

Financial Impact:

Total of Proposed Expenditure:	\$0
Amount Budgeted:	\$0
Account No.:	N/A
If not budgeted, other funding options:	N/A

Staff Recommendation:

Based on facts or apparent facts known to us at this time, staff recommends no action be taken.

RE: Old Farm Road Speed Bumps

May 16,2025

Problem: Recently installed speed bumps and a "net new" stop sign(s) on Old Farm Road; Oak Creek Addition, have created a larger negative yet albeit unintended consequence. The result of the city's action has diverted the major portion of a perceived traffic problem from Old Farm Road to Oak Springs Drive (running parallel to Old Farm Road), which BTW is 35% longer with 2 blind curves; one at each end.

Those affected: Many on our street walk, run, bike and have children play outside. Our street on Oak Springs has many young families. Personally, my wife and I keep my 2 ½ year old granddaughter several days a week and unsurprisingly we are not alone in having young people in our care. Many walkers of all ages have used our streets for decades. Sadly and soon enough that will stop altogether because of the traffic being purposely funneled into Oak Springs Drive.

Solutions: (after talking to you and your team and sharing the "big picture" for road and thoroughfare improvement, I have reprioritized my suggested solutions

Neighborhood Approach:

Remove the speed bumps from Old Farm road along with stop signs with a "common good approach" that is the intent of reassessing strategies for the entire neighborhood. This way city leaders can offer a long term plan incorporating yet-to-be-announced County and TxDOT master traffic plans. This neighborhood systematic approach avoids any reactionary "band-aid approach" which offers little other than displacement of the problem... while pitting one street/neighbor against the other. The proverbial "Pandora's box" could open if installing speed bumps became the prevailing answer.

Payoff: Easier to justify as "cooler heads" prevail in offering a collaborative solution instead of a fix to appease.

Street Approach:

Replace the aggressive speed bumps on Oak Creek with those having smaller profiles and/or design. i.e speed humps and/or table traffic impediment. In addition and just as important, remove the stop sign that encourages the driver to avoid the speed bump ahead of them.

Payoff: Ideally, this solution should balance the load of traffic onto the two streets. There will be those who will go though the more passive speed bumps to enjoy having a shorter trip to the service road. Conversely, there will be those who will not traverse any speed bumps if they can help it.

Respectfully Submitted by: David Hankins and Cameron Talbert

Adam Niolet

From: David Hankins <[REDACTED]>
Sent: Sunday, September 28, 2025 8:25 PM
To: Adam Niolet; Cameron M Talbert III; David Hankins
Subject: Re: Traffic

Adam,

I've created a summary of our concerns and some helpful facts that may add value to a resolution. BTW, I've sent this from my husband's email due to some technical issue.

"Changing the natural flow of water is like changing traffic patterns is a useful analogy for explaining how disrupting a complex, interconnected system can have far-reaching and often negative consequences. Both water and traffic are dynamic systems of flow that have predictable patterns that are vulnerable to human intervention."

Facts Concerning the Installation of Speed-Bumps on Old Farm Road

Speeding and the effects of that speeding, was the paramount reason given to council for the speed bumps request on Old Farm Road. The facts show and Officer Nolan Schaffer reported from running radar, that speed was not the issue. It's important to note, the first traffic survey confirmed Officer Schaffer's assessment.

It appears a disingenuous "deadly speed" presentation to Council was made to dramatize the situation and play on Council's emotions. Obviously, their "red herring" strategy was to gain a favorable approval for the unvetted speed bumps installation.

However, drama aside, the hard facts show the residents had to be unhappy with increased traffic count caused by the developments of Hunter's Run (Waco) and more recently, Tanglewood (Woodway).

Expectedly, the speed bumps have diverted a majority of the Old Farm traffic to the adjacent Oak Springs Drive. Therein lies the real issue. Oak Springs Drive has always shouldered its share of the pass-through traffic; now it is accommodating its "old" share plus Old Farm's diverted traffic

Anecdotally, Old Farm Road residents have added impediments of parking cars and placing trash cans close to the speed bumps as an encouragement for traffic to avoid their street.

Empirical Facts: (disclaimer; this is a best guess estimate based on my knowledge of the two streets in question).

Number of affected residences:
Old Farm Road 19 Houses
Oak Springs 29 Houses

Number of affected children: (ages being < 18 years)

Old Farm Road 8 Children

Oak Springs. 18 Children

Number of Drivers :Old Farm Road 12 Houses - 2 Adult Drivers each

6 Houses - 1 Adult Driver

1 House - 0 Adult Driver

Oak Springs 24 Houses -2 Adult Drivers

5 Houses - 1 Adult Driver

Additional Housing Facts of Old Farm

- Only 7 of the 19 Houses are in the area between the two speed bumps of which 2 of those have one 1 Driver. One of the most vocal proponents for speed bumps does not pass over them.
- 4 Houses on the street have no ingress/egress on Old Farm Road
- 1 House on the street had zero drivers

Unintended Consequences:

The Oak Creek subdivision had its first house built in 1985. At inception, the developers/designers obviously planned to have Oak Creek Drive as an entrance and Old Farm Road as a pass-through/exit to Old McGregor Road. 40 Years later, two-sets of speed bumps have changed the original design and tranquility of the neighborhood.

Suggested resolution offered by The City Manager's Office

- **Remove speed bumps from Old Farm Rd (as they create increased traffic to Oak Springs)** Given the facts above and how the OakCreek Subdivision has thrived for 40 Years, I am in favor of removing the speed bumps on Old Farm Road while the City Planners develop a long range traffic plan that benefits everyone.
- Remove stop signs at Old Farm Rd
- Close entrance at old Farm Rd from Old McGregor Rd
- Close entrance to access road from Oak Creek Drive

Thank you,

Julie Hankins

On Sun, Sep 28, 2025 at 8:13 PM Julie hankins <jhankins50@gmail.com> wrote:

----- Forwarded message -----

From: **Adam Niolet** <aniolet@woodwaytexas.gov>

Date: Wed, Sep 24, 2025 at 8:23 AM

Subject: Traffic

To: Julie hankins <jkhankins50@gmail.com>

Mrs. Hankins,

Sorry I missed your call yesterday. I had a lot going on both in and out of the building.

Would you be so kind as to email me, so I can keep all these traffic conversations in one file/location for ease of reference?

Respectfully,



Adam Niolet, CPM, ICMA-CM

City Manager

City of Woodway

aniolet@woodwaytexas.gov

254.772.4480 office

woodwaytexas.gov

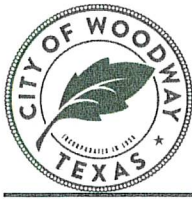
discoverwoodway.com



A Commitment to Excellence

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CITY COUNCIL AGENDA ITEM FORM

Meeting Date: October 6, 2025

Prepared By: Mitch Davison

Approved By: 

- ☐ Presentation, Report and/or Discussion Only
- ☐ Public Hearing/Related Action
- ☒ Individual Discussion/Action
- ☐ Consent
- ☐ Executive Session

Caption:

Discussion and consider action ratifying the expenditure of \$55,000.00 to Nacho Ruiz Cement, LLC, for emergency repairs to remove and replace bridge approach on both sides of Estates Drive Bridge due to unforeseen damage and necessary to preserve or protect the public health or safety of the City's residents pursuant to Tex.Loc.Gov't Code §252.0215.

Background Information:

During the week of August 19, 2025, the bridge on Estates Drive was determined by City staff to require emergency repairs. To address the issue and restore the bridge to safe operating condition, the work was authorized immediately. The repair was completed at a cost of \$55,000.00.

Financial Impact:

Total of Proposed Expenditure: \$55,000.00
Amount Budgeted:
Account No.: 100-4301-431-4307
If not budgeted, other funding options:

Staff Recommendation:

City staff recommends Council approve the expenditure in the amount of \$55,000.00 (Nacho Ruiz Cement, LLC.) for emergency repairs to the bridge on Estates Drive.

Nacho Ruiz Cement, LLC

Po Box 2109

Hewitt, TX 76643

254-666-8097Fax 254-666-8094Off 254-379-3654Cell

Date: 08/14/25

Bid Proposal

Reference: City Of Woodway

End of the Bridge

1. *Existing Concrete to be broken up and hauled off. Som sections to have forms set with #6 rebar to be placed 12" on center each way. 3/4" Dowels to be drilled. Concrete to be 10" thick with a mix of TX Dot Class P mix. Will saw cut after pour and caulk the cuts.*

\$55,000.00

Acceptance of Proposal: All above prices, specifications and work are hereby accepted. Concrete is a perishable Commodity, We do not guaranty against cracks or color quality. Terms: Balance Due upon completion. If Contractor incurs any costs or expenses in collection or attempting to collect payment due all such costs and expenses include, but are not limited to filing fees, collections costs, and Attorneys fees.

Signature _____ Customer

Signature _____ Contractor

Date of Acceptance _____



PURCHASE ORDER NUMBER

REQUISITION NUMBER

(ASSIGNED BY FINANCE DEPARTMENT)

[illegible]

DEPARTMENT DIRECTOR APPROVAL:

SIGNATURE

DATE _____

CITY MANAGER APPROVAL (ITEMS OVER \$1,000):

SIGNATURE _____

DATE _____

FINANCE APPROVAL:

SIGNATURE

DATE _____

CITY COUNCIL APPROVAL (ITEMS OVER \$2,000):

DATE _____

WOODWAY CITY COUNCIL MINUTES

September 22, 2025 – 5:30 p.m.

The Woodway City Council met in a regular meeting in the Donald J. Baker Council Chambers at Woodway City Hall, 922 Estates Drive, Woodway, Texas, on Monday, September 22, 2025, at 5:30 p.m. The following individuals were in attendance:

Mayor:	Absent
Mayor Pro Tem:	Storey Cook
Councilmembers:	Janell Gilman, David Keyston (virtually), Ken Sury and Dave Whitby
Councilmembers Absent:	David Russell
City Manager:	Adam Niolet
Assistant City Manager:	Jennifer Rogers
City Secretary:	Donna Barkley
City Staff:	Mitch Davison, Brenda Hernandez, Khalil El-Halabi and Todd Gill
Contract Staff:	David Shaw, City Attorney

CALL MEETING TO ORDER

Mayor Pro Tem Cook called the meeting to order at 5:30 p.m.

INVOCATION AND PLEDGE

1. INVOCATION

Councilmember Gilman provided the invocation.

2. PLEDGE OF ALLEGIANCE

The Pledge of Allegiance to the United States Flag was recited in unity.

PUBLIC COMMENT

3. THE CITY COUNCIL INVITES CITIZENS TO ADDRESS THE COUNCIL ON ANY MATTER, INCLUDING ITEMS ON THE AGENDA, EXCEPT PUBLIC HEARINGS THAT ARE INCLUDED ON THE AGENDA. COMMENTS RELATED TO PUBLIC HEARINGS WILL BE HEARD WHEN THE SPECIFIC HEARING STARTS. PLEASE LIMIT YOUR COMMENTS TO THREE (3) MINUTES PER RESOLUTION R-87-11. THE COUNCIL IS NOT PERMITTED TO TAKE ANY ACTION OR DISCUSS ANY ITEM NOT LISTED ON THE AGENDA. WHEN CALLED TO SPEAK, PLEASE STATE YOUR NAME AND ADDRESS, AND IF SPEAKING ON A SPECIFIC AGENDA ITEM, STATE THE ITEM BEFORE BEGINNING YOUR COMMENTS

WOODWAY CITY COUNCIL MINUTES

Page 2

September 22, 2025, at 5:30 p.m.

There were no public comments.

ITEMS FOR INDIVIDUAL DISCUSSION, CONSIDERATION AND/OR ACTION

4. DISCUSSION AND CONSIDER ACTION ON ORDINANCE 25-05, AUTHORIZING THE CITY MANAGER TO CONTRACT FOR EXPENDITURES WITHOUT FURTHER APPROVAL OF THE CITY COUNCIL FOR ALL BUDGETED ITEMS NOT EXCEEDING \$50,000.00

Mr. Niolet presented this item.

Councilmember Whitby moved to adopt Ordinance 25-05, authorizing the City Manager to contract for expenditures, without further approval of the City Council for all budgeted items not exceeding \$50,000.00. Councilmember Gilman seconded and Mayor Pro Tem Cook read aloud the caption of the ordinance as required, and the motion passed unanimously by the councilmembers present.

5. DISCUSSION AND CONSIDER ACTION ON ACCEPTANCE OF THE APPLICATION TO DEVELOP IN A PLANNED DISTRICT (GREEN ACCOUNTING OFFICES) LOT 3, BLOCK 1, RODNEY KROLL ADDITION, TO THE CITY OF WOODWAY, MCLENNAN COUNTY, TEXAS, LOCATED AT THE SOUTHEAST CORNER OF SANTA FE DR. AND OLD MCGREGOR RD.

Mr. Niolet presented this item.

Councilmember Gilman moved to accept the Application to Develop in a Planned District (Green Accounting Offices) Lot 3, Block 1, Rodney Kroll Addition, to the City of Woodway, McLennan County, Texas, located at the southeast corner of Santa Fe Dr. and Old McGregor Rd. Councilmember Keyston seconded and the motion passed unanimously by the councilmembers present.

6. DISCUSSION AND CONSIDER ACTION ON RESOLUTION R-25-14, A RESOLUTION OF CANDIDATE NOMINATIONS FOR THE MCLENNAN CENTRAL APPRAISAL DISTRICT BOARD OF DIRECTORS FOR THE YEAR 2026

Mr. Niolet presented this item.

Councilmember Whitby moved to adopt Resolution R-25-14, nominating the following individual(s) to be considered for election to the McLennan Central Appraisal District Board of Directors for the year 2026:

- 1) Dwain Moss and 2) Dwain Moss.

CONSENT AGENDA

The Consent Agenda consists of non-controversial, routine and budgeted items which require no public hearing. The Consent Agenda is subject to being approved with one single motion; however, the Mayor or any City Councilmember may remove any item from the Consent Agenda for separate discussion and consideration.

WOODWAY CITY COUNCIL MINUTES

Page 3

September 22, 2025, at 5:30 p.m.

7. A. DISCUSSION AND CONSIDER ACTION ON MINUTES OF THE REGULAR CITY COUNCIL MEETING HELD SEPTEMBER 8, 2025, AT 5:30 P.M.
- B. DISCUSSION AND CONSIDER ACTION TO AWARD A CONTRACT IN RESPONSE TO REQUEST FOR BIDS #25-05 DEMOLITION OF THE CITY OF WOODAY FAMILY CENTER TO RISE UP CONSTRUCTION, LLC, THE LOWEST RESPONSIBLE BIDDER, IN AN AMOUNT NOT TO EXCEED \$31,850.00, AND AUTHORIZING THE CITY MANAGER TO EXECUTE ANY DOCUMENTS IN CONNECTION THEREWITH
8. DISCUSSION AND CONSIDER ACTION ON CONSENT AGENDA

There were no items pulled for separate discussion. Councilmember Gilman moved to approve the consent agenda as follows:

- A. Approve the minutes of the regular City Council meeting held September 8, 2025, at 5:30 p.m.
- B. Award Bid #25-05 Demolition of the City of Wooday Family Center to Rise Up Construction, LLC in an amount not to exceed \$31,850.00, and authorizing the City Manager to execute any documents in connection therewith.

Councilmember Sury seconded and the motion passed with four voting in favor and one abstaining.

CITY MANAGER AND CITY COUNCIL REPORTS

9. CITY MANAGER'S REPORT (BRIEFINGS OR UPDATES MAY BE PROVIDED REGARDING CITY SERVICES, ADMINISTRATIVE/PERSONNEL MATTERS, REAL ESTATE/DEVELOPMENT, INFRASTRUCTURE, EVENTS, REGULATIONS, COMMUNITY, AND INTERGOVERNMENTAL RELATIONS ISSUES)

Mr. Niolet provided updates on the following:

- Assistant Chief Todd Gill was recognized for his 39 years of service to the City;
- McLennan 100 Club's 2025 Chiefs' Distinguished Award is going the Woodway Youth Commission; and
- Estates Bridge approaches

10. CITY COUNCIL REPORTS

Councilmember Gilman – P&Z meeting tomorrow

Councilmember Sury – Youth Commission will be recognized Thursday night.

WOODWAY CITY COUNCIL MINUTES

Page 4

September 22, 2025, at 5:30 p.m.

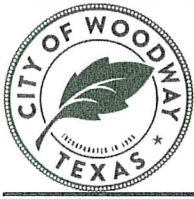
CLOSING ITEMS

9. CONSIDER ACTION ON ADJOURNMENT

Councilmember Gilman moved to adjourn the meeting, Councilmember Whitby seconded, and the motion passed unanimously by the councilmembers present. The meeting adjourned at 5:49 p.m.

Donna Barkley, City Secretary

Amine Qourzal, Mayor



CITY COUNCIL AGENDA ITEM FORM

Meeting Date: October 6, 2025

Prepared By: Chief Khalil El-Halabi

Approved By: [Signature]

- ☐ Presentation, Report and/or Discussion Only
- ☐ Public Hearing/Related Action
- ☐ Individual Discussion/Action
- ☒ Consent
- ☐ Executive Session

Caption:

Discussion and consider action on purchasing three Public Safety Ford Explorers and one Chevrolet Silverado from Caldwell Country through Texas BuyBoard in an amount not to exceed \$235,330.00 replacing Unit 611, a 2019 Chevrolet Tahoe, VIN #1GNLCDEC7KR234821, Unit 621, a 2021 Chevrolet Tahoe, VIN #1GNSCLED3MR284701, A 2010 Ford F-150, VIN #1FTEW1C85AFB54861, as they have reached the end of their service life and approving the sale of replaced units at public auction; Unit 614, a 2017 Chevrolet Tahoe, VIN #1GNLCDEC2HR192244 (transferring ownership to McLennan Community College Police Academy) and authorizing the City Manager to execute all documents in connection therewith

Background Information:

Monies were budgeted for vehicle replacement cost in the 2025-2026 budget years. 2026 model vehicles will be purchased at buy board contract pricing from Caldwell Country. The patrol vehicles have reached their 5-year life expectancy as they reach 100,000+ miles. These vehicles will be purchased under the Texas BuyBoard contract pricing.

Caldwell Country Chevrolet

- Patrol Units: \$55,478.33/unit x 3=\$166,435.00
- Administrative Pick-up: \$68,895.00

Note: All replaced units and excess equipment owned by the city would be sold in a manner found to be most advantageous to the City once the new vehicles are placed in full service.

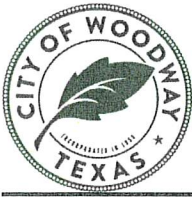
Financial Impact:

Total of Proposed Expenditure: \$235,330.00
Amount Budgeted: \$305,670.00 (Remainder of budget will be used for equipment outfitting of units)

Account No.: 103-4201-4217402 Project # 20232 and Project # 20233

Staff Recommendation:

Authorize expenditure in the total amount of \$235,330.00 from Caldwell Country for three Police Package Ford Explorers and one Administrative Chevrolet Silverado and sale of three replaced units at public auction, transfer of ownership to McLennan Community College Police Academy on one replaced unit and authorizing the City Manager to execute all documents in connection therewith.



CITY COUNCIL AGENDA ITEM FORM

Meeting Date: October 6, 2025

Prepared By: Khalil El-Halabi

Approved By: 

- ☐ Presentation, Report and/or Discussion Only
- ☐ Public Hearing/Related Action
- ☐ Individual Discussion/Action
- ☒ Consent
- ☐ Executive Session

Caption:

Discussion and consider action to dispose of one retired Woodway PSD patrol unit with non-reusable equipment by transferring its ownership to the McLennan Community College Police Academy in exchange for a credit of \$18,645.00 to be used for future Woodway Cadets attending the MCC Police Academy and authorizing the City Manager to execute all documents in connection therewith

Background Information:

This unit is 8 years old; there are 58,000 operating miles and 294,000 idle miles on this unit.
2017 Tahoe 1GNLCDEC2HR192244

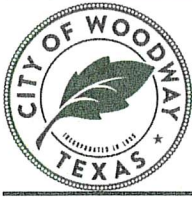
This is an older retired body-style Tahoe. The equipment within it that cannot be reused will be donated (overhead lightbar, interior prisoner cage) since they cannot be reused in the newer body-style Tahoes or Explorers. The average cost to strip this equipment would be upwards of \$1,500, which would not be necessary if donated as is. We will take out the Dashcamera, Radar Unit, and Unit Radio for our department's use.

KBB Value of this vehicle alone without donated equipment is up to \$16,500.

Financial Impact:

Total of Proposed Expenditure:	\$0
Amount Budgeted:	N/A
Account No.:	N/A
If not budgeted, other funding options:	

Staff Recommendation: Approve transfer of ownership of the retired Woodway PSD patrol unit with non-reusable equipment to the McLennan Community College Police Academy in exchange for a credit of \$18,645.00 to be used for future Woodway Cadets attending the MCC Police Academy and authorizing the City Manager to execute all documents in connection therewith



CITY COUNCIL AGENDA ITEM FORM

Meeting Date: October 6, 2025

Prepared By: Donna Barkley

Approved By: 

- ☐ Presentation, Report and/or Discussion Only
- ☐ Public Hearing/Related Action
- ☐ Individual Discussion/Action
- ☒ Consent
- ☐ Executive Session

Caption:

Discussion and consider action on Resolution R-25-15, declaring an ice machine, washing machine, old radar trailer, filing cabinet, three-monitor computer stand, six Dell servers, two HP servers, one Morantz recorder, two Dell laptops, three HP laptops, one Gateway laptop, six Motorola laptops, one old projector, eight UPS's, one Acer all-in-one computer, two HP printers, four monitors, one Hitachi TV, two Dell computers, two Lenovo computers, four HP desktops and one HP all-in-one desktop computer, as excess city property that is obsolete, unrepairable, or at the end of its useful purpose and authorizing the disposal of same by any lawful means including without limitation treatment as waste, recycling, sale at public auction, and/or transfer to qualified recipient for permissible use

Background Information:

The City has the following items to be declared excess property:

Public Safety Department:

- Scotsman ice machine, model C0530MA-1C, Serial #13071320015564

This ice machine is over twenty years old and no longer operational.

- Raytheon washing machine, model SC35MD2OU220001, Serial #M0398124244

This washing machine is over twenty-five years old and no longer operational.

- 2006 Shop old radar trailer, model CE radar trailer, VIN# 1K9BS08176K118051

This police radar trailer is nineteen years old, no longer operational, and has been replaced with newer model.

Finance/Customer Service Department:

- Filing Cabinet #CH10172
- Three-monitor computer stand

IT Department:

- 6 Dell servers
- 2 HP servers
- 1 Morantz recorder
- 2 Dell laptops
- 3 HP laptops

- 1 Gateway laptop
- 6 Motorola laptops
- Old projector
- 8 UPS's
- 1 Acer all-in-one computer
- 2 HP printers
- 4 monitors
- 1 Hitachi TV
- 2 Dell computers
- 2 Lenovo computers
- 4 HP desktops
- 1 all-in-one desktop computer

Resolution R-25-15 declares the above-described property as excess to the City's needs and directs that the property be disposed of as the department deems appropriate and in the best interest of the City. These items are typically listed for resale through public auction, sold as scrap, or disposed of if there is no viable secondary market. Proceeds will be returned to designated reserve fund accounts.

Financial Impact:

Total of Proposed Expenditure: \$
Amount Budgeted: \$
Account No.:
If not budgeted, other funding options:

Staff Recommendation:

Adopt Resolution R-25-15, declaring property excess to the City's needs and authorizing the disposal of same by any lawful means including without limitation treatment as waste, recycling, sale at public auction, and/or transfer to qualified recipient for permissible use.

RESOLUTION R-25-15

WHEREAS, certain property has become excess to the City's needs.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF WOODWAY, TEXAS:

That the property listed below is declared excess to the City's needs.

Public Safety Department:

- Scotsman ice machine, model C0530MA-1C, Serial #13071320015564
- Raytheon washing machine, model SC35MD2OU220001, Serial #M0398124244
- 2006 Shop old radar trailer, model CE radar trailer, VIN# 1K9BS08176K118051

Finance/Customer Service Department:

- Filing Cabinet Inventory #CH10172
- Three-monitor computer stand

IT Department:

- 6 Dell servers
- 2 HP servers
- 1 Morantz recorder
- 2 Dell laptops
- 3 HP laptops
- 1 Gateway laptop
- 6 Motorola laptops
- Old projector
- 8 UPS's
- 1 Acer all-in-one computer
- 2 HP printers
- 4 monitors
- 1 Hitachi TV
- 2 Dell computers
- 2 Lenovo computers
- 4 HP desktops
- 1 all-in-one desktop computer

Be it further resolved that the Scotsman ice machine, Raytheon washing machine and 2006 Shop old radar trailer are no longer operational and will be taken to M. Lipsitz & Company, Ltd., for scrap metal, but if not accepted, will be disposed of at the landfill.

Be it further resolved that the filing cabinet and three-monitor computer stand will be sold for scrap metal to M. Lipsitz & Company, Ltd.

Be it further resolved that the six Dell servers, two HP servers, one Morantz recorder, two Dell laptops, three HP laptops, one Gateway laptop, six Motorola laptops, old projector, eight USP's, one Acer all-in-one computer, two HP printers, four monitors, one Hitachi TV, two Dell computers, two Lenovo computers, four HP desktops and one all-in-one desktop computer are of no or insignificant value, and it is in the best interest of the City to donate to Goodwill.

City staff is hereby directed to dispose of the property accordingly, and the City Manager or his designee is authorized to execute any documents necessary to accomplish these directives.

That it is hereby officially found and determined that the meeting at which this Resolution is adopted was noticed and has been open to the public as required by law.

PASSED AND APPROVED this the 6th day of October 2025.

CITY OF WOODWAY, TEXAS

Amine Qourzal, Mayor

ATTEST:

Donna Barkley, City Secretary



CITY COUNCIL AGENDA ITEM FORM

Meeting Date: October 6, 2025

Prepared By: Mitch Davison

Approved By: 

- ☐ Presentation, Report and/or Discussion Only
- ☐ Public Hearing/Related Action
- ☐ Individual Discussion/Action
- ☒ Consent
- ☐ Executive Session

Caption:

Discussion and consider action on Resolution R-25-16, finding that Oncor Electric Delivery Company LLC's ("Oncor" or "Company") application to change rates within the City should be denied; and that the City's reasonable rate case expenses shall be reimbursed by the Company

Background Information:

On June 26, 2025, Oncor Electric Delivery Company LLC ("Oncor") filed an application with cities retaining original jurisdiction to increase system-wide transmission and distribution rates by approximately \$834 million, or about 13% over present revenues. The filing includes a proposed 12.3% increase in residential rates and a 51.0% increase in street lighting rates. If approved, the average residential customer would see an increase of approximately \$7.90 per month.

In response, the City previously suspended the proposed rate increase for 90 days, the maximum period allowed by law, in order to evaluate the filing. During this suspension period, the City participated with the Steering Committee of Cities Served by Oncor in reviewing the request. Based on this review and the analysis of expert consultants engaged by the Steering Committee, the proposed rate increase has been determined to be unreasonable.

The resolution presented for consideration denies Oncor's requested rate change. Following adoption, Oncor will have 30 days to appeal the City's decision to the Public Utility Commission of Texas ("PUC"), where the appeal will be consolidated with Oncor's pending filing (PUC Docket No. 58306). All cities with original jurisdiction must adopt a resolution denying the rate increase no later than October 29, 2025.

Financial Impact:

Total of Proposed Expenditure: N/A
Amount Budgeted:
Account No.:
If not budgeted, other funding options:

Staff Recommendation:

Adopt Resolution R-25-16, finding that Oncor Electric Delivery Company LLC's ("Oncor" or "Company") application to change rates within the City should be denied; and that the City's reasonable rate case expenses shall be reimbursed by the Company.

MODEL STAFF REPORT REGARDING DENIAL OF ONCOR ELECTRIC'S REQUESTED RATE CHANGE

*****FINAL ACTION MUST BE TAKEN TO DENY THE REQUESTED RATE CHANGE
BY OCTOBER 29, 2025*****

Purpose:

On June 26, 2025, Oncor Electric Delivery Company LLC ("Oncor" or "Company") filed an application with cities retaining original jurisdiction seeking to increase system-wide transmission and distribution rates by about \$834 million or approximately 13% over present revenues. The Company asks the City to approve a 12.3% increase in residential rates and a 51.0% increase in street lighting rates. If approved, the impact of this requested increase on an average residential customer would be about \$7.90 per month.

In a prior City action, Oncor's rate request was suspended from taking effect for 90 days, the fullest extent permissible under the law. This time period has permitted the City, through its participation with the Steering Committee of Cities Served by Oncor ("Steering Committee"), to determine that the proposed rate increase is unreasonable. Consistent with the recommendations of the experts engaged by the Steering Committee, Oncor's request for a rate increase should be denied.

Accordingly, the purpose of the Resolution is to deny the rate change application proposed by Oncor. Once the Resolution is adopted, Oncor will have 30 days to appeal the decision to the Public Utility Commission of Texas ("PUC") where the appeal will be consolidated with Oncor's filing (PUC Docket No. 58306) currently pending at the PUC.

All cities with original jurisdiction will need to adopt the Resolution **by October 29, 2025**.

Explanation of "Be It Resolved" Sections:

1. This paragraph finds that the Company's application is unreasonable and should be denied.
2. This section states that the Company's current rates shall not be changed.
3. The Company will reimburse Cities for their reasonable rate case expenses. Legal counsel and consultants approved by the Steering Committee will submit monthly invoices that will be forwarded to Oncor for reimbursement.
4. This section merely recites that the resolution was passed at a meeting that was open to the public and that the consideration of the Resolution was properly noticed.
5. This section provides Oncor and counsel for the Steering Committee will be notified of the City's action through a copy of the approved and signed resolution.

RESOLUTION NO. R-25-16

A RESOLUTION OF THE CITY OF WOODWAY, TEXAS FINDING THAT ONCOR ELECTRIC DELIVERY COMPANY LLC'S APPLICATION TO CHANGE RATES WITHIN THE CITY SHOULD BE DENIED; FINDING THAT THE CITY'S REASONABLE RATE CASE EXPENSES SHALL BE REIMBURSED BY THE COMPANY; FINDING THAT THE MEETING AT WHICH THIS RESOLUTION IS PASSED IS OPEN TO THE PUBLIC AS REQUIRED BY LAW; REQUIRING NOTICE OF THIS RESOLUTION TO THE COMPANY AND LEGAL COUNSEL.

WHEREAS, the City of Woodway, Texas ("City") is an electric utility customer of Oncor Electric Delivery Company LLC ("Oncor" or "Company"), and a regulatory authority with an interest in the rates and charges of Oncor; and

WHEREAS, the City is a member of the Steering Committee of Cities Served by Oncor ("Steering Committee"), a coalition of similarly situated cities served by Oncor that have joined together to efficiently and cost effectively review and respond to electric issues affecting rates charged in Oncor's service area; and

WHEREAS, on or about June 26, 2025, Oncor filed with the City an application to increase system-wide transmission and distribution rates by about \$834 million or approximately 13% over present revenues. The Company asks the City to approve an 12.3% increase in residential rates and a 51.0% increase in street lighting rates; and

WHEREAS, the Steering Committee is coordinating its review of Oncor's application and working with the designated attorneys and consultants to resolve issues in the Company's filing; and

WHEREAS, through review of the application, the Steering Committee's consultants determined that Oncor's proposed rates are excessive; and

WHEREAS, the Steering Committee's members and attorneys recommend that members deny the Application; and

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF WOODWAY, TEXAS:

Section 1. That the rates proposed by Oncor to be recovered through its electric rates charged to customers located within the City limits, are hereby found to be unreasonable and shall be denied.

Section 2. That the Company shall continue to charge its existing rates to customers within the City.

Section 3. That the City's reasonable rate case expenses shall be reimbursed in full by Oncor.

Section 4. That it is hereby officially found and determined that the meeting at which this Resolution is passed is open to the public as required by law and the public notice of the time, place, and purpose of said meeting was given as required.

Section 5. That a copy of this Resolution shall be sent to Oncor Electric Delivery Company LLC, 1616 Woodall Rodgers Freeway, Dallas, Texas 75202 and to Thomas Brocato, Counsel to the Steering Committee, at Lloyd Gosselink Rochelle & Townsend, P.C., 816 Congress Ave., Suite 1900, Austin, Texas 78701.

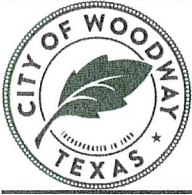
PASSED AND APPROVED this the 6th day of October 2025.

CITY OF WOODWAY

Amine Qourzal, Mayor

ATTEST:

Donna Barkley, City Secretary



CITY COUNCIL AGENDA ITEM FORM

Meeting Date: October 6, 2025

Prepared By: Donna Barkley

Approved By: 

- ☐ Presentation, Report and/or Discussion Only
- ☐ Public Hearing/Related Action
- ☐ Individual Discussion/Action
- ☒ Consent
- ☐ Executive Session

Caption: Discussion and consider action on consent agenda

Background Information:

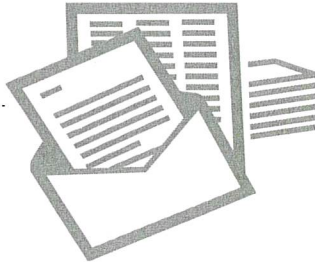
The following items are included on the consent agenda:

- A. Discussion and consider action on minutes of the regular City Council meeting held September 22, 2025 at 5:30 p.m.
- B. Discussion and consider action on purchasing three Public Safety Ford Explorers and one Chevrolet Silverado from Caldwell Country through Texas BuyBoard in an amount not to exceed \$235,330.00 replacing Unit 611, a 2019 Chevrolet Tahoe, VIN #1GNLCDEC7KR234821, Unit 621, a 2021 Chevrolet Tahoe, VIN #1GNSCLED3MR284701, A 2010 Ford F-150, VIN #1FTEW1C85AFB54861, as they have reached the end of their service life and approving the sale of replaced units at public auction; Unit 614, a 2017 Chevrolet Tahoe, VIN #1GNLCDEC2HR192244 (transferring ownership to McLennan Community College Police Academy) and authorizing the City Manager to execute all documents in connection therewith
- C. Discussion and consider action to dispose of one retired Woodway PSD patrol unit with non-reusable equipment by transferring its ownership to the McLennan Community College Police Academy in exchange for a credit of \$18,645.00 to be used for future Woodway Cadets attending the MCC Police Academy and authorizing the City Manager to execute all documents in connection therewith
- D. Discussion and consider action on Resolution R-25-15, declaring an ice machine, washing machine, old radar trailer, filing cabinet, three-monitor computer stand, six Dell servers, two HP servers, one Morantz recorder, two Dell laptops, three HP laptops, one Gateway laptop, six Motorola laptops, one old projector, eight UPS's, one Acer all-in-one computer, two HP printers, four monitors, one Hitachi TV, two Dell computers, two Lenovo computers, four HP desktops and one HP all-in-one desktop computer, as excess city property that is obsolete, unrepairable, or at the end of its useful purpose and authorizing the disposal of same by any lawful means including without limitation treatment as waste, recycling, sale at public auction, and/or transfer to qualified recipient for permissible use

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- E. Discussion and consider action on Resolution R-25-16, finding that Oncor Electric Delivery Company LLC's ("Oncor" or "Company") application to change rates within the City should be denied; and that the City's reasonable rate case expenses shall be reimbursed by the Company

Financial Impact: Please see individual items on consent agenda.

Staff Recommendation: Approve all items on the consent agenda, as presented.



MISCELLANEOUS ITEMS FOR COUNCIL

Distributed with October 6, 2025 City Council Meeting Packet

- Tentative list of agenda items for future meetings

Upcoming Calendar Items of Interest

- | | |
|----------------------|--|
| - Monday, October 6 | Regular City Council meeting – 5:30 pm. |
| - Monday, October 13 | City offices closed in observance of Columbus Day/Indigenous Peoples Day |
| - Monday, October 27 | Regular City Council meeting – 5:30 p.m. |

P E N D I N G A G E N D A I T E M S

WOODWAY CITY COUNCIL AND PLANNING/ZONING COMMISSION

(Updated 09/30/25)

This is a tentative planning calendar utilized to assist the City Secretary to compile draft meeting agendas.

DATE	CITY COUNCIL ITEMS	DATE	PLANNING & ZONING ITEMS
		10/14	Cancelled – no items
10/27	- Quarterly presentation – Finance	10/28	- PH, D & CA on renewal of SUP General for KWKT TV
11/10	- PH, D & CA on renewal of SUP General for KWKT TV - Award Bid 25-07 Window Replacement for the Pavilion	11/18	- Update from Building Official re: current PUD projects

RECURRING COUNCIL ITEMS:

- January/April/July/October (first meeting of the month) - Quarterly presentations - Public Safety and Community Services
- January/April/July/October (second meeting of the month) - Quarterly presentation - Finance
- January/July (second Council meeting of the month) - Semi-annual presentations - Carleen Bright Arboretum and Woodway Family Center
- Woodway Public Safety Association Day proclamation - Annually at the meeting prior to the annual cook-out
- Appointment of Judges to Municipal Court of Record every two years (Next – 09/2026)

RECURRING P&Z ITEMS: Every six months - Update to P&Z from Building Official regarding current PUD projects (Next 11/2025)